

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carriedout. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

1. Commitments for multi-dwelling housing

(a) Dwellings

| (i) Water                                                                                                                                                                                                                                                                                                                                                                                                |                               |                             |                  |                   |                               |                     |                  |                     |            |               |             |                     | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------|-----------------------------|------------------|-------------------|-------------------------------|---------------------|------------------|---------------------|------------|---------------|-------------|---------------------|------------------|------------------------------|-----------------|
| (a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.                                                                                                                                                                                                                                                                   |                               |                             |                  |                   |                               |                     |                  |                     |            |               |             |                     |                  |                              |                 |
| (b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).    |                               |                             |                  |                   |                               |                     |                  |                     |            |               |             |                     | ✓                | ✓                            |                 |
| (c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.                                                                                                                                                                                            |                               |                             |                  |                   |                               |                     |                  |                     |            |               |             |                     |                  | ✓                            | ✓               |
| (d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.                                                                                                                                                                   |                               |                             |                  |                   |                               |                     |                  |                     |            |               |             |                     |                  | ✓                            | ✓               |
| (e) The applicant must install:                                                                                                                                                                                                                                                                                                                                                                          |                               |                             |                  |                   |                               |                     |                  |                     |            |               |             |                     |                  |                              |                 |
| (aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and                                                                                                                                                                                                     |                               |                             |                  |                   |                               |                     |                  |                     |            |               |             |                     |                  | ✓                            | ✓               |
| (bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.                                                                                                                                                                                                   |                               |                             |                  |                   |                               |                     |                  |                     |            |               |             |                     |                  | ✓                            | ✓               |
| (e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.                                                                                                                                                                                                                                                    |                               |                             |                  |                   |                               |                     |                  |                     |            |               |             |                     | ✓                | ✓                            |                 |
| (f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).                                                                                                                                                                                                                                                                                                   |                               |                             |                  |                   |                               |                     |                  |                     |            |               |             |                     |                  | ✓                            |                 |
| (g) The pool or spa must be located as specified in the table.                                                                                                                                                                                                                                                                                                                                           |                               |                             |                  |                   |                               |                     |                  |                     |            |               |             |                     | ✓                | ✓                            |                 |
| (h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified. |                               |                             |                  |                   |                               |                     |                  |                     |            |               |             |                     | ✓                | ✓                            | ✓               |
|                                                                                                                                                                                                                                                                                                                                                                                                          |                               |                             |                  |                   |                               |                     |                  |                     |            |               |             |                     |                  |                              |                 |
|                                                                                                                                                                                                                                                                                                                                                                                                          |                               |                             |                  |                   |                               |                     |                  |                     |            |               |             |                     |                  |                              |                 |
| Dwelling no.                                                                                                                                                                                                                                                                                                                                                                                             | All shower-heads              | All toilet flushing systems | All kitchen taps | All bathroom taps | HW recirculation or diversion | All clothes washers | All dish-washers | Volume (max volume) | Pool cover | Pool location | Pool shaded | Volume (max volume) | Spa cover        | Spa shaded                   |                 |
| All dwellings                                                                                                                                                                                                                                                                                                                                                                                            | 4 star (> 6 but <= 7.5 L/min) | 4 star                      | 4 star           | 4 star            | -                             | -                   | -                | -                   | -          | -             | -           | -                   | -                | -                            |                 |

| Alternative water source |                                  |                             |                                                                    |                      |                       |                    |             |            |  |
|--------------------------|----------------------------------|-----------------------------|--------------------------------------------------------------------|----------------------|-----------------------|--------------------|-------------|------------|--|
| Dwelling no.             | Alternative water supply systems | Size                        | Configuration                                                      | Landscape connection | Toilet connection (s) | Laundry connection | Pool top-up | Spa top-up |  |
| GF                       | No alternative water supply      | -                           | -                                                                  | -                    | -                     | -                  | -           | -          |  |
| All other dwellings      | Individual water tank (No. 1)    | Tank size (min) 3000 litres | To collect run-off from at least: 69.5 square metres of roof area; | yes                  | yes                   | yes                | no          | no         |  |

| (ii) Energy                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |  |  |  |  |  |  |  |  |  |  |  |  | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|--|--|--|--|--|--|--|--|--|--|--|------------------|------------------------------|-----------------|
| (a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |  |  |  |  |  |  |  |  |  |  |  |  |                  |                              |                 |
| (b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.                                                                                                                                                                                                                                       |  |  |  |  |  |  |  |  |  |  |  |  | ✓                | ✓                            | ✓               |
| (c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.                                                                                                                                                                                                                                                                                                                                                                |  |  |  |  |  |  |  |  |  |  |  |  |                  | ✓                            | ✓               |
| (d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, infor at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.                                      |  |  |  |  |  |  |  |  |  |  |  |  |                  | ✓                            | ✓               |
| (e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting. |  |  |  |  |  |  |  |  |  |  |  |  |                  | ✓                            | ✓               |

| (ii) Energy                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------|------------------------------|-----------------|
| (f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.                                                                                                                                                                                                                                                                                                                         | ✓                | ✓                            | ✓               |
| (g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must:<br><br>(aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and<br><br>(bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump. |                  | ✓<br><br>✓                   |                 |
| (h) The applicant must install in the dwelling:<br><br>(aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below;<br><br>(bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and<br><br>(cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.                                                                                       |                  | ✓<br><br>✓<br><br>✓          | ✓               |
| (i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |                  | ✓                            |                 |
| (j) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.                                                                                                                                                                                                                                                                                                                                                                                           | ✓                | ✓                            | ✓               |

| Dwelling no.  | Hot water                  | Bathroom ventilation system              |                                     | Kitchen ventilation system               |                      | Laundry ventilation system               |                      |
|---------------|----------------------------|------------------------------------------|-------------------------------------|------------------------------------------|----------------------|------------------------------------------|----------------------|
|               | Hot water system           | Each bathroom                            | Operation control                   | Each kitchen                             | Operation control    | Each laundry                             | Operation control    |
| All dwellings | gas instantaneous - 6 star | individual fan, ducted to façade or roof | interlocked to light with timer off | individual fan, ducted to façade or roof | manual switch on/off | individual fan, ducted to façade or roof | manual switch on/off |

| Dwelling no. | Cooling                                                    |                                                            |  | Heating                                                  |                                                          | Natural lighting            |              |
|--------------|------------------------------------------------------------|------------------------------------------------------------|--|----------------------------------------------------------|----------------------------------------------------------|-----------------------------|--------------|
|              | living areas                                               | bedroom areas                                              |  | living areas                                             | bedroom areas                                            | No. of bathrooms or toilets | Main kitchen |
| GF           | 1-phase airconditioning - ducted / 3.5 star (average zone) | 1-phase airconditioning - ducted / 3.5 star (average zone) |  | 1-phase airconditioning - ducted / 3 star (average zone) | 1-phase airconditioning - ducted / 3 star (average zone) | 1                           | yes          |

| AREAS         |           |
|---------------|-----------|
| SITE:         | 527.70 m² |
| GROUND FLOOR: | 108.94 m² |
| FIRST FLOOR:  | 136.24 m² |
| GARAGE:       | 24.70 m²  |
| PORCH:        | 9.93 m²   |
| BALCONY:      | 6.82 m²   |
| ALFRESCO:     | 35.80 m²  |
|               | m²        |
| TOTAL:        | 322.43 m² |

| GRANNY FLAT    |           |
|----------------|-----------|
| SITE:          | 527.70 m² |
| GROUND FLOOR:  | 59.96 m²  |
| CONCRETE SLAB: | 1.26 m²   |
| TOTAL:         | 61.22 m²  |



| QUOTE                     | DATE | QUOTE NUMBER | REV | N   | 08.04.26  | AMENDED BASIX DRAWINGS         | CG     |
|---------------------------|------|--------------|-----|-----|-----------|--------------------------------|--------|
| KITCHEN                   |      |              | -   | M   | 20.03.26  | AMENDED HYDRAULIC COORDINATION | CG     |
| ZURCORP ELECTRICAL        |      |              | -   | L   | 024.02.26 | AMENDED DA DRAWINGS            | B.McL. |
| TILES                     |      |              | -   | K   | 17.12.25  | UPDATED SURVEY                 | CY     |
| CARPET                    |      |              | -   | J   | 27.11.25  | AMENDED BASIX                  | M.H.   |
| ZURCORP SECURITY          |      |              | -   | I   | 07.11.25  | HYDRAULIC CO - ORDINATED       | MJ     |
| EH1                       |      |              | -   | H   | 15.10.25  | GRANNY FLAT AMENDED            | M.H.   |
| AIR CONDITIONING          |      |              | -   | G   | 22.09.25  | AMENDED BASIX                  | M.H.   |
| STAIRS                    |      |              | -   | F   | 10.09.25  | DA DRAWINGS                    | MTK    |
| LANDSCAPE                 |      |              |     | E   | 29.08.25  | EXTERNAL COLOURS               | JG     |
| HYDRAULICS                |      |              |     | D   | 07.07.25  | CDC DRAWINGS                   | MJ     |
| ENGINEER                  |      |              |     | C   | 19.06.25  | CV 1                           | MTK    |
| PEG OUT                   |      |              |     | B   | 04.06.25  | CONTRACT DRAWINGS              | MTK    |
|                           |      |              |     | A   | 19.03.25  | TENDER SITING                  | SM     |
| CLIENT'S SIGNATURE: _____ |      |              |     | REV | DATE      | AMENDMENTS                     | BY     |

|       |                                |
|-------|--------------------------------|
| 2.7   | STREETSCAPE ELEVATION          |
| 2.6   | ELEVATION SHADOWS              |
| 2.5   | ELEVATION SHADOWS              |
| 2.4   | SHADOW DIAGRAMS                |
| 2.3   | NEIGHBOUR NOTIFICATION PLAN    |
| 2.2   | SITE ANALYSIS                  |
| 2.1   | CONSTRUCTION MANAGEMENT        |
|       |                                |
| 14    | SLAB PLAN                      |
| 13    | WET AREA DETAILS               |
| 12    | WET AREA DETAILS               |
| 11    | WET AREA DETAILS               |
| 10    | G.F. ELECTRICAL - SLAB - STEEL |
| 9     | ELECTRICAL LAYOUT              |
| 8     | G.F. PLAN - ELEV - SECTION     |
| 7     | SECTION                        |
| 6     | ELEVATIONS                     |
| 5     | ELEVATIONS                     |
| 4     | FIRST FLOOR PLAN               |
| 3     | GROUND FLOOR PLAN              |
| 2     | SITE PLAN                      |
| 1a    | COVER SHEET                    |
| 1     | COVER SHEET                    |
| SHEET | DESCRIPTION                    |

ClarendonHomes

BL No. 2298C  
ABN 18 003 892 706

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# ALL DIMENSIONS TO STRUCTURAL  
ELEMENTS. DIMENSIONS TO BE READ IN  
REFERENCE TO SCALING.

PRODUCT:  
Stamford 34  
Gallery  
R/H Garage

LUXE

Master Issued: 26.06.24

Revision: B

CLIENT:  
Mr. NGUYEN  
Mrs. TRUONG

SITE ADDRESS:  
Lot 337 No 16  
Wenke Crescent  
YAGOONA, 2199

DA DRAWINGS

|                    |                     |               |
|--------------------|---------------------|---------------|
| DRAWN:<br>MTK      | DATE:<br>04.06.25   | Rev:<br><br>N |
| RATIO @ A3:<br>N/A | CHECKED:<br>AL      |               |
| SHEET:<br>1        | JOB No:<br>29917560 | NSW           |

| (III) Thermal Performance and Materials                                                                                                                                                                                                                                                                                                |  |  |  | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|--|--|------------------|------------------------------|-----------------|
| (e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications. |  |  |  |                  | ✓                            |                 |
| (f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.          |  |  |  |                  | ✓                            | ✓               |
| (g) Where there is an in-slab heating or cooling system, the applicant must:                                                                                                                                                                                                                                                           |  |  |  | ✓                | ✓                            | ✓               |
| (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or<br>(bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.                                          |  |  |  |                  |                              |                 |
| (h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.                                                                                                                                                                                              |  |  |  | ✓                | ✓                            | ✓               |
| (i) The applicant must show on The plans accompanying The development application for The proposed development, The locations of ceiling fans set out in The Assessor Certificate.                                                                                                                                                     |  |  |  | ✓                |                              |                 |
| (j) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.                                                                                                         |  |  |  |                  | ✓                            |                 |

| Thermal loads       |                                                       |                                                       |                                                     |
|---------------------|-------------------------------------------------------|-------------------------------------------------------|-----------------------------------------------------|
| Dwelling no.        | Area adjusted heating load (in MJ/m <sup>2</sup> /yr) | Area adjusted cooling load (in MJ/m <sup>2</sup> /yr) | Area adjusted total load (in MJ/m <sup>2</sup> /yr) |
| GF                  | 11                                                    | 17.6                                                  | 28.600                                              |
| All other dwellings | 15.6                                                  | 13.8                                                  | 29.400                                              |

|                     |                              | Construction of floors and walls        |                      |                                             |                                         |           |                                          |                                          |           |            |
|---------------------|------------------------------|-----------------------------------------|----------------------|---------------------------------------------|-----------------------------------------|-----------|------------------------------------------|------------------------------------------|-----------|------------|
| Dwelling no.        | Concrete slab on ground (m²) | Suspended floor with open subfloor (m²) |                      | Suspended floor with enclosed subfloor (m²) | Suspended floor above garage (m²)       |           | Primarily rammed earth or mudbrick walls |                                          |           |            |
| GF                  | 51.0                         | -                                       |                      | -                                           | -                                       |           | no                                       |                                          |           |            |
| All other dwellings | 95.2                         | 3.2                                     |                      | -                                           | 21.0                                    |           | no                                       |                                          |           |            |
|                     | Floor types                  |                                         |                      |                                             |                                         |           |                                          |                                          |           |            |
|                     | Concrete slab on ground      |                                         |                      |                                             | Suspended floor above enclosed subfloor |           |                                          | Suspended floor above open subfloor      |           |            |
| Dwelling no.        | Area (m²)                    | Insulation                              | Low emissions option | Dematerialisation                           | Construction type                       | Area (m²) | Insulation                               | Construction type                        | Area (m²) | Insulation |
| GF                  | 51.0                         | -                                       | -                    | conventional slab                           | -                                       | -         | -                                        | -                                        | -         | -          |
| All other dwellings | 95.2                         | -                                       | -                    | waffle pod slab                             | -                                       | -         | -                                        | particle board, frame: light steel frame | 3.2       | -          |

| Floor types                                    |                                          |                        |            |                                          |                        |            |                         |                        |            |                      |                   |
|------------------------------------------------|------------------------------------------|------------------------|------------|------------------------------------------|------------------------|------------|-------------------------|------------------------|------------|----------------------|-------------------|
| First floor above habitable rooms or mezzanine |                                          |                        |            | Suspended floor above garage             |                        |            |                         | Garage floor           |            |                      |                   |
| Dwelling no.                                   | Construction type                        | Area (m <sup>2</sup> ) | Insulation | Construction type                        | Area (m <sup>2</sup> ) | Insulation | Construction type       | Area (m <sup>2</sup> ) | Insulation | Low emissions option | Dematerialisation |
| GF                                             | -                                        | -                      | -          | -                                        | -                      | -          | -                       | 0                      | -          | -                    | conventional slab |
| All other dwellings                            | particle board, frame: light steel frame | 114.3                  | -          | particle board, frame: light steel frame | 21.0                   | -          | concrete slab on ground | 17.9                   | -          | -                    | waffle pod slab   |

| External walls       |                                        |                        |            |                      |                      |                        |            |                      |   |
|----------------------|----------------------------------------|------------------------|------------|----------------------|----------------------|------------------------|------------|----------------------|---|
| External wall type 1 |                                        |                        |            |                      | External wall type 2 |                        |            |                      |   |
| Dwelling no.         | Wall type                              | Area (m <sup>2</sup> ) | Insulation | Low emissions option | Wall type            | Area (m <sup>2</sup> ) | Insulation | Low emissions option |   |
| GF                   | brick veneer, frame: light steel frame | 51.9                   | -          | -                    | -                    | -                      | -          | -                    | - |
| All other dwellings  | brick veneer, frame: light steel frame | 183.5                  | -          | -                    | -                    | -                      | -          | -                    | - |
| External walls       |                                        |                        |            |                      |                      |                        |            |                      |   |
| External wall type 3 |                                        |                        |            |                      | External wall type 4 |                        |            |                      |   |
| Dwelling no.         | Wall type                              | Area (m <sup>2</sup> ) | Insulation | Low emissions option | Wall type            | Area (m <sup>2</sup> ) | Insulation | Low emissions option |   |
| All dwellings        | -                                      | -                      | -          | -                    | -                    | -                      | -          | -                    | - |

| Internal walls                    |                                        |                        |                          |                                        |                        |            |                      |                        |            |
|-----------------------------------|----------------------------------------|------------------------|--------------------------|----------------------------------------|------------------------|------------|----------------------|------------------------|------------|
| Internal walls shared with garage |                                        |                        |                          | Internal wall type 1                   |                        |            | Internal wall type 2 |                        |            |
| Dwelling no.                      | Wall type                              | Area (m <sup>2</sup> ) | Insulation               | Wall type                              | Area (m <sup>2</sup> ) | Insulation | Wall type            | Area (m <sup>2</sup> ) | Insulation |
| GF                                | -                                      | -                      | -                        | plasterboard, frame: light steel frame | 37.9                   | -          | -                    | -                      | -          |
| All other dwellings               | plasterboard, frame: light steel frame | 20.7                   | fibreglass batts or roll | plasterboard, frame: light steel frame | 170.3                  | -          | -                    | -                      | -          |

| Ceiling and roof            |                                                              |                        |                                                       |                                          |                        |                |                          |                        |                |
|-----------------------------|--------------------------------------------------------------|------------------------|-------------------------------------------------------|------------------------------------------|------------------------|----------------|--------------------------|------------------------|----------------|
| Flat ceiling / pitched roof |                                                              |                        |                                                       | Raked ceiling / pitched or skillion roof |                        |                | Flat ceiling / flat roof |                        |                |
| Dwelling no.                | Construction type                                            | Area (m <sup>2</sup> ) | Insulation                                            | Construction type                        | Area (m <sup>2</sup> ) | Insulation     | Construction type        | Area (m <sup>2</sup> ) | Insulation     |
| GF                          | framed - concrete tiles, frame: timber - H2 treated softwood | 78                     | Ceiling: fibreglass batts or roll, Roof: foil/sarking | -                                        | -                      | Ceiling, Roof: | -                        | -                      | Ceiling, Roof: |
| All other dwellings         | framed - concrete tiles, frame: timber - H2 treated softwood | 203                    | Ceiling: fibreglass batts or roll, Roof: foil/sarking | -                                        | -                      | Ceiling, Roof: | -                        | -                      | Ceiling, Roof: |

| Glazing type        |                                  |                                  |                                  | Frame types                        |                                 |                               |                                |                                    |
|---------------------|----------------------------------|----------------------------------|----------------------------------|------------------------------------|---------------------------------|-------------------------------|--------------------------------|------------------------------------|
| Dwelling no.        | Single glazing (m <sup>2</sup> ) | Double glazing (m <sup>2</sup> ) | Triple glazing (m <sup>2</sup> ) | Aluminium frames (m <sup>2</sup> ) | Timber frames (m <sup>2</sup> ) | uPVC frames (m <sup>2</sup> ) | Steel frames (m <sup>2</sup> ) | Composite frames (m <sup>2</sup> ) |
| GF                  | 10.7                             | 5.0                              | -                                | 15.7                               | -                               | -                             | -                              | -                                  |
| Glazing type        |                                  |                                  |                                  | Frame types                        |                                 |                               |                                |                                    |
| Dwelling no.        | Single glazing (m <sup>2</sup> ) | Double glazing (m <sup>2</sup> ) | Triple glazing (m <sup>2</sup> ) | Aluminium frames (m <sup>2</sup> ) | Timber frames (m <sup>2</sup> ) | uPVC frames (m <sup>2</sup> ) | Steel frames (m <sup>2</sup> ) | Composite frames (m <sup>2</sup> ) |
| All other dwellings | 5.6                              | 44.1                             | -                                | 49.7                               | -                               | -                             | -                              | -                                  |

## 2. Commitments for single dwelling houses

### (a) Dwellings

| (i) Water                                                                                                                                                                                                                                                                                                                                                                                                                                         | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------|------------------------------|-----------------|
| (a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.                                                                                                                                                                                                                                                                                                            |                  |                              |                 |
| (b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).                                             | ✓                | ✓                            |                 |
| (c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.                                                                                                                                                                                                                                     |                  | ✓                            | ✓               |
| (d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.                                                                                                                                                                                                            |                  | ✓                            | ✓               |
| (e) The applicant must install:<br>(aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and<br>(bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling. |                  | ✓                            | ✓               |
| (e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.                                                                                                                                                                                                                                                                                             | ✓                | ✓                            |                 |
| (f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).                                                                                                                                                                                                                                                                                                                                            |                  | ✓                            |                 |
| (g) The pool or spa must be located as specified in the table.                                                                                                                                                                                                                                                                                                                                                                                    | ✓                | ✓                            |                 |
| (h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.                                          | ✓                | ✓                            | ✓               |

| (ii) Energy                                                                                                                                                                                                                                                                                                                                                                    | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------|------------------------------|-----------------|
| (a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.                                                                                                                                                                                                                                         |                  |                              |                 |
| (b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system. | ✓                | ✓                            | ✓               |
| (c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.                                                                                                                          |                  | ✓                            | ✓               |

| (ii) Energy                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------|------------------------------|-----------------|
| (d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for daylight zoning between living areas and bedrooms.                                                 |                  |                              |                 |
| (e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.            |                  | ✓                            | ✓               |
| (f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.                                                                                                                                                                                                                                                                                                                 | ✓                | ✓                            | ✓               |
| (g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must:<br>(aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and<br>(bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump. |                  | ✓                            |                 |
| (h) The applicant must install in the dwelling:<br>(aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below;<br>(bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and<br>(cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.                                                                                           |                  | ✓                            | ✓               |
| (i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                  | ✓                            |                 |
| (j) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.                                                                                                                                                                                                                                                                                                                                                                                   | ✓                | ✓                            | ✓               |

| (iii) Thermal Performance and Materials                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------|------------------------------|-----------------|
| (a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development. |                  |                              |                 |

| (III) Thermal Performance and Materials                                                                                                                                                                                                                                                                                                                                       | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------|------------------------------|-----------------|
| (b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.                                                                                                                                                                                                                                                 |                  |                              |                 |
| (c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.                                                                                                                                                                  |                  |                              |                 |
| (d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.                                                              | ✓                |                              |                 |
| (e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.                                        |                  | ✓                            |                 |
| (f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.                                                 |                  | ✓                            | ✓               |
| (g) Where there is an in-slab heating or cooling system, the applicant must:<br>(aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or<br>(bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab. | ✓                | ✓                            | ✓               |
| (h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.                                                                                                                                                                                                                                     | ✓                | ✓                            | ✓               |
| (i) The applicant must show on The plans accompanying The development application for The proposed development, The locations of ceiling fans set out in The Assessor Certificate.                                                                                                                                                                                            | ✓                |                              |                 |
| (j) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.                                                                                                                                                |                  | ✓                            |                 |

### 3. Commitments for common areas and central systems/facilities for the development (non-building specific)

| (b) Common areas and central systems/facilities                                                                                                                                                                                                                                         | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------|------------------------------|-----------------|
| (i) Water                                                                                                                                                                                                                                                                               |                  |                              |                 |
| (a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.                                                                                 |                  | ✓                            | ✓               |
| (b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table. | ✓                | ✓                            |                 |
| (c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.                                                                                                                                            | ✓                | ✓                            |                 |
| (d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.                                                                                                                                                                       |                  | ✓                            |                 |
| (e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.                                                                                                                                               |                  | ✓                            | ✓               |
| (f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.                                                                                                                                                              |                  | ✓                            | ✓               |

| Common area      | Showerheads rating | Toilets rating     | Taps rating        | Clothes washers rating     |
|------------------|--------------------|--------------------|--------------------|----------------------------|
| All common areas | no common facility | no common facility | no common facility | no common laundry facility |

| (iii) Energy                                                                                                                                                                                                                                                                                                                                                                                                            | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------|------------------------------|-----------------|
| (a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.                                                                                                                                            |                  | ✓                            | ✓               |
| (b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified. |                  | ✓                            | ✓               |
| (c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.                                                                                                                                                                          | ✓                | ✓                            | ✓               |



CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

**ClarendonHomes**

BL No. 2298C  
ABN 18 003 892 706

Clarendon Homes (NSW) P/L  
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# ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.

PRODUCT:  
**Stamford 34**  
Gallery  
R/H Garage

LUXE

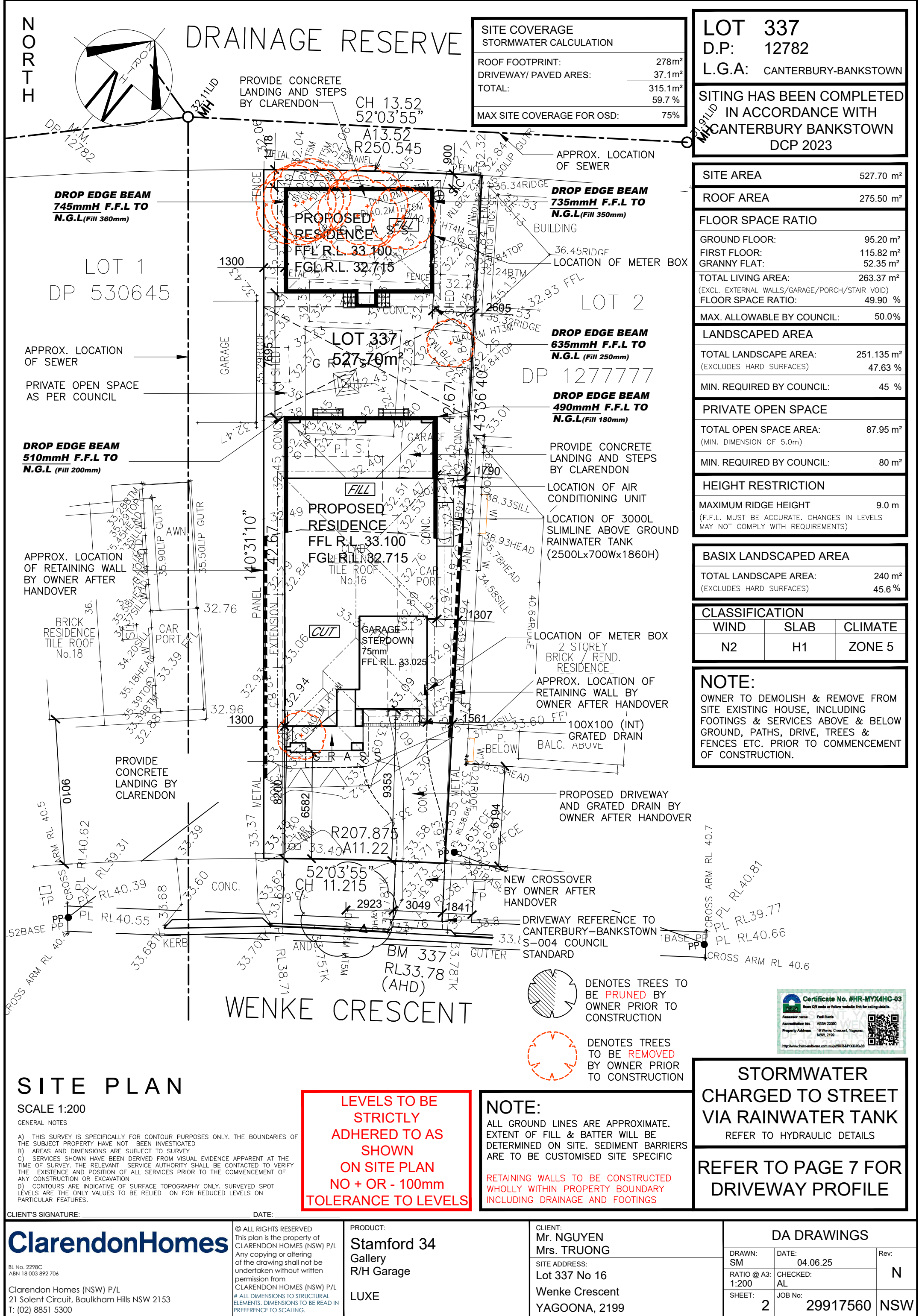
Master Issued: 26.06.24

Revision: B

CLIENT:  
**Mr. NGUYEN**  
**Mrs. TRUONG**  
SITE ADDRESS:  
**Lot 337 No 16**  
**Wenke Crescent**  
**YAGOONA, 2199**

## DA DRAWINGS

|                 |                  |        |
|-----------------|------------------|--------|
| DRAWN: MTK      | DATE: 04.06.25   | Rev: N |
| RATIO @ A3: N/A | CHECKED: AL      |        |
| SHEET: 1a       | JOB No: 29917560 | NSW    |



|                            |                     |
|----------------------------|---------------------|
| SITE COVERAGE              |                     |
| STORMWATER CALCULATION     |                     |
| ROOF FOOTPRINT:            | 278m <sup>2</sup>   |
| DRIVEWAY/ PAVED AREAS:     | 37.1m <sup>2</sup>  |
| TOTAL:                     | 315.1m <sup>2</sup> |
|                            | 59.7 %              |
| MAX SITE COVERAGE FOR OSD: | 75%                 |

LOT 337

D.P.: 12782

L.G.A.: CANTERBURY-BANKSTOWN

SITING HAS BEEN COMPLETED IN ACCORDANCE WITH CANTERBURY BANKSTOWN DCP 2023

|                                                                               |                        |
|-------------------------------------------------------------------------------|------------------------|
| SITE AREA                                                                     | 527.70 m <sup>2</sup>  |
| ROOF AREA                                                                     | 275.50 m <sup>2</sup>  |
| FLOOR SPACE RATIO                                                             |                        |
| GROUND FLOOR:                                                                 | 95.20 m <sup>2</sup>   |
| FIRST FLOOR:                                                                  | 115.82 m <sup>2</sup>  |
| GRANNY FLAT:                                                                  | 52.35 m <sup>2</sup>   |
| TOTAL LIVING AREA:                                                            | 263.37 m <sup>2</sup>  |
| (EXCL. EXTERNAL WALLS/GARAGE/PORCH/STAIR VOID)                                |                        |
| FLOOR SPACE RATIO:                                                            | 49.90 %                |
| MAX. ALLOWABLE BY COUNCIL:                                                    | 50.0%                  |
| LANDSCAPED AREA                                                               |                        |
| TOTAL LANDSCAPE AREA:                                                         | 251.135 m <sup>2</sup> |
| (EXCLUDES HARD SURFACES)                                                      | 47.63 %                |
| MIN. REQUIRED BY COUNCIL:                                                     | 45 %                   |
| PRIVATE OPEN SPACE                                                            |                        |
| TOTAL OPEN SPACE AREA:                                                        | 87.95 m <sup>2</sup>   |
| (MIN. DIMENSION OF 5.0m)                                                      |                        |
| MIN. REQUIRED BY COUNCIL:                                                     | 80 m <sup>2</sup>      |
| HEIGHT RESTRICTION                                                            |                        |
| MAXIMUM RIDGE HEIGHT                                                          | 9.0 m                  |
| (F.F.L. MUST BE ACCURATE. CHANGES IN LEVELS MAY NOT COMPLY WITH REQUIREMENTS) |                        |

|                          |                    |
|--------------------------|--------------------|
| BASIX LANDSCAPED AREA    |                    |
| TOTAL LANDSCAPE AREA:    | 240 m <sup>2</sup> |
| (EXCLUDES HARD SURFACES) | 45.6 %             |

|                |      |         |
|----------------|------|---------|
| CLASSIFICATION |      |         |
| WIND           | SLAB | CLIMATE |
| N2             | H1   | ZONE 5  |

**NOTE:**  
OWNER TO DEMOLISH & REMOVE FROM SITE EXISTING HOUSE, INCLUDING FOOTINGS & SERVICES ABOVE & BELOW GROUND, PATHS, DRIVE, TREES & FENCES ETC. PRIOR TO COMMENCEMENT OF CONSTRUCTION.

- DENOTES TREES TO BE PRUNED BY OWNER PRIOR TO CONSTRUCTION
- DENOTES TREES TO BE REMOVED BY OWNER PRIOR TO CONSTRUCTION

LEVELS TO BE STRICTLY ADHERED TO AS SHOWN ON SITE PLAN  
NO + OR - 100mm TOLERANCE TO LEVELS

**NOTE:**  
ALL GROUND LINES ARE APPROXIMATE. EXTENT OF FILL & BATTER WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE TO BE CUSTOMISED SITE SPECIFIC

RETAINING WALLS TO BE CONSTRUCTED WHOLLY WITHIN PROPERTY BOUNDARY INCLUDING DRAINAGE AND FOOTINGS

STORMWATER CHARGED TO STREET VIA RAINWATER TANK  
REFER TO HYDRAULIC DETAILS

REFER TO PAGE 7 FOR DRIVEWAY PROFILE

SITE PLAN  
SCALE 1:200  
GENERAL NOTES

- A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED
- B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY
- C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION
- D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.

CLIENT'S SIGNATURE: DATE:

BL No. 2298C  
ABN 18 003 892 706

Clarendon Homes (NSW) P/L  
21 Solent Circuit, Baulkham Hills NSW 2153  
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# ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.

PRODUCT:

**Stamford 34**

Gallery  
R/H Garage

LUXE

CLIENT:

Mr. NGUYEN  
Mrs. TRUONG

SITE ADDRESS:

Lot 337 No 16  
Wenke Crescent  
YAGOONA, 2199

DA DRAWINGS

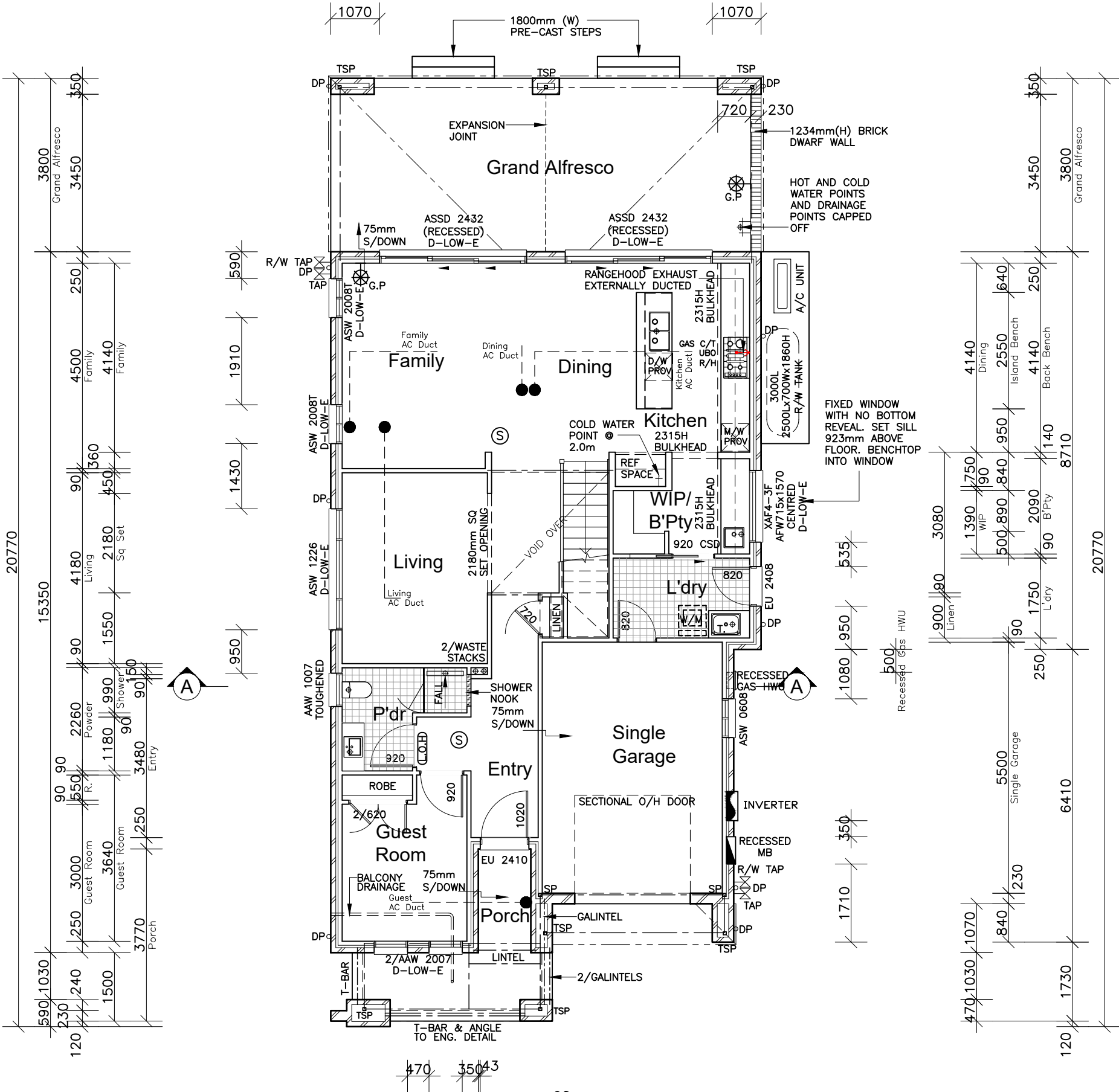
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| RATIO @ A3: 1:200 | CHECKED: AL      | N    |
| SHEET: 2          | JOB No: 29917560 | NSW  |

|         |                                                   |
|---------|---------------------------------------------------|
| ---     | STRUCTURAL BEAM                                   |
| SP ■    | STEEL POST                                        |
| TSP ■   | TELESCOPIC STEEL POST                             |
| (S)     | SMOKE ALARM                                       |
| (E)     | EXHAUST FAN                                       |
| DP ○    | DOWN PIPE                                         |
| TAP ⊗   | GARDEN TAP                                        |
| (L.O.H) | LIFT OFF HINGES                                   |
| (M.U.A) | MAKE-UP AIR VENT                                  |
| (C.E.J) | CEILING EXPANSION JOINT                           |
| (E)→    | EXHAUST FAN WITH RUN-ON TIMER                     |
| FWG ✕   | BATH FLOOR WASTE GULLY (MAX.1.2m FROM BATH WASTE) |
| —#—     | LINEAR FLOOR WASTE                                |

● AIR CONDITIONING DUCT

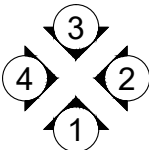
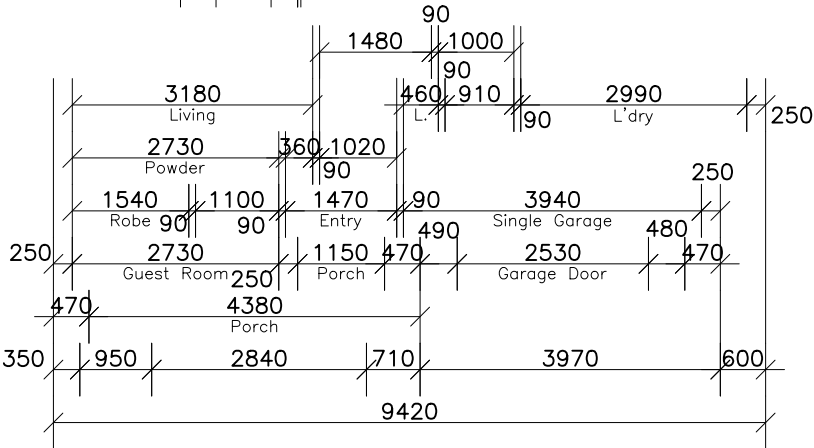
NOTES

- SHOWERS – ALL GROUND FLOOR SHOWERS TO HAVE RECESSED SLAB
- WATERPROOFING – MATERIALS AND THE INSTALLATION OF WET AREA COMPONENTS TO MEET CLAUSES 10.2.1 TO 10.2.32 OF THE ABCB HOUSING PROVISIONS. (NCC 2022)
- EXHAUST FAN DUCTED EXTERNALLY WITH TIMER AND RETURN AIR (WHERE REQUIRED) TO COMPLY WITH HP 10.8.2. (NCC 2022)
- PROVIDE CLASS 4 WALL WRAP TO LIGHTWEIGHT CLADDING (IF APPLICABLE) TO COMPLY WITH PART 10.81 OF THE NCC
- 300 DEEP BULKHEADS & SQ. SETS. 150 DROPPED CEILINGS (UNLESS NOTED OTHERWISE)
- INTERNAL DOORS – LEAF HEIGHT OF GROUND FLOOR DOORS TO BE 2340mm(H)



**NOTE:**  
PROVIDE (x4) 450mm DEEP MELAMINE SHELVING TO W.I.P

**SOLAR INCLUSION**  
\* 3.3 KW SMART SOLAR SYSTEM  
\* INVERTER



EPOXY FLOOR  
REFER TO SCHEDULE FOR GARAGE FLOOR FINISH

GROUND FLOOR PLAN

CLIENT'S SIGNATURE:

DATE:

**ClarendonHomes**

BL No. 2298C  
ABN 18 003 892 706

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# ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.

PRODUCT:

**Stamford 34**  
Gallery  
R/H Garage

LUXE

CLIENT:

**Mr. NGUYEN**  
**Mrs. TRUONG**

SITE ADDRESS:

**Lot 337 No 16**  
**Wenke Crescent**  
**YAGOONA, 2199**

DA DRAWINGS

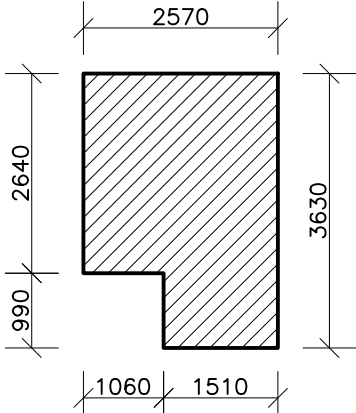
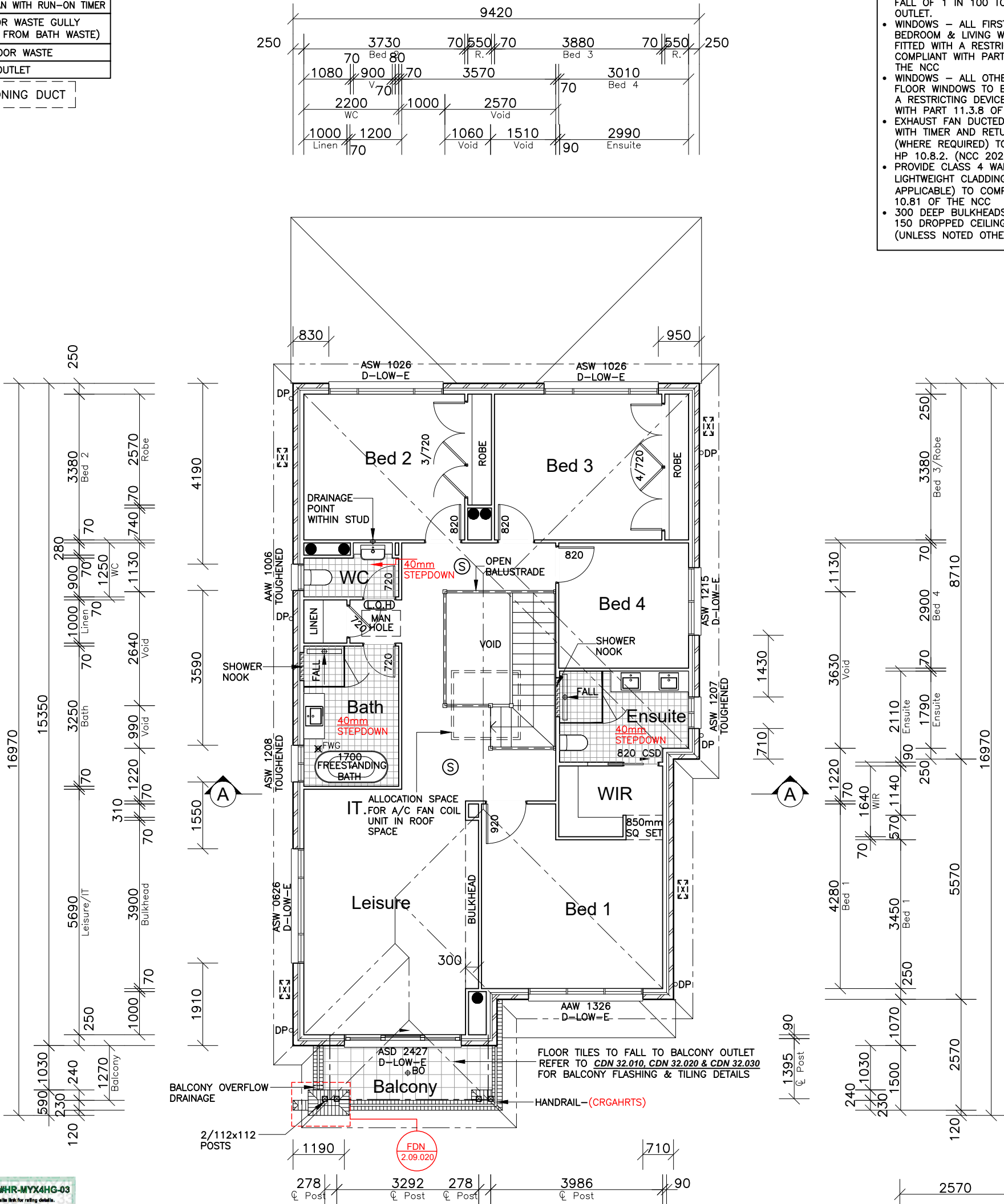
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| DRAWN:<br>MTK        | DATE:<br>04.06.25          | Rev:       |
| RATIO @ A3:<br>1:100 | CHECKED:<br>AL             | <b>N</b>   |
| SHEET:<br><b>3</b>   | JOB No:<br><b>29917560</b> | <b>NSW</b> |

|  |                                                   |
|--|---------------------------------------------------|
|  | STRUCTURAL BEAM                                   |
|  | SMOKE ALARM                                       |
|  | EXHAUST FAN                                       |
|  | DOWN PIPE                                         |
|  | GARDEN TAP                                        |
|  | LIFT OFF HINGES                                   |
|  | MAKE-UP AIR VENT                                  |
|  | EAVE VENTS                                        |
|  | EXHAUST FAN WITH RUN-ON TIMER                     |
|  | BATH FLOOR WASTE GULLY (MAX.1.2m FROM BATH WASTE) |
|  | LINEAR FLOOR WASTE                                |
|  | BALCONY OUTLET                                    |

● AIR CONDITIONING DUCT

NOTES

- WET AREAS – ALL WET AREAS TO FIRST FLOOR TO HAVE RECESSED JOISTS.
- WATERPROOFING – MATERIALS AND THE INSTALLATION OF WET AREA COMPONENTS TO MEET CLAUSES 10.2.1 TO 10.2.32 OF THE ABCB HOUSING PROVISIONS. (NCC 2022)
- BALCONIES – FINISHES SURFACE TO ALL BALCONIES ARE TO HAVE A MIN. FALL OF 1 IN 100 TO THE BALCONY OUTLET.
- WINDOWS – ALL FIRST FLOOR BEDROOM & LIVING WINDOWS TO BE FITTED WITH A RESTRICTING DEVICE COMPLIANT WITH PART 11.3.7 OF THE NCC
- WINDOWS – ALL OTHER FIRST FLOOR WINDOWS TO BE FITTED WITH A RESTRICTING DEVICE COMPLIANT WITH PART 11.3.8 OF THE NCC
- EXHAUST FAN DUCTED EXTERNALLY WITH TIMER AND RETURN AIR (WHERE REQUIRED) TO COMPLY WITH HP 10.8.2. (NCC 2022)
- PROVIDE CLASS 4 WALL WRAP TO LIGHTWEIGHT CLADDING (IF APPLICABLE) TO COMPLY WITH PART 10.81 OF THE NCC
- 300 DEEP BULKHEADS & SQ. SETS. 150 DROPPED CEILINGS (UNLESS NOTED OTHERWISE)



STAIR CUTOUT  
SCALE 1:100

**NOTE:**  
INTERNAL DOOR LEAF HEIGHTS TO FIRST FLOOR TO BE 2340mm(H)

**NOTE:**  
SHOWER NOOK/RECESS REFER TO **CDN 54.260** & SHEET 12 FOR DETAILS

**SOLAR INCLUSION**  
\* 3.3 KW SMART SOLAR SYSTEM  
\* INVERTER

FIRST FLOOR PLAN

CLIENT'S SIGNATURE:

DATE:

**ClarendonHomes**

BL No. 2298C  
ABN 18 003 892 706

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# ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.

PRODUCT:  
**Stamford 34**  
Gallery  
R/H Garage  
  
**LUXE**

CLIENT:  
**Mr. NGUYEN**  
**Mrs. TRUONG**  
  
SITE ADDRESS:  
**Lot 337 No 16**  
**Wenke Crescent**  
**YAGOONA, 2199**

DA DRAWINGS

|                      |                            |                  |
|----------------------|----------------------------|------------------|
| DRAWN:<br>MTK        | DATE:<br>04.06.25          | Rev:<br><b>N</b> |
| RATIO @ A3:<br>1:100 | CHECKED:<br>AL             |                  |
| SHEET:<br><b>4</b>   | JOB No:<br><b>29917560</b> | <b>NSW</b>       |

SOLAR INCLUSION  
\* 3.3 KW SMART SOLAR SYSTEM  
\* INVERTER

NOTE:  
FOR ROOF PITCHES 20° OR LOWER -  
ROOF TILE SELECTION WILL BE  
IMPACTED.

NOTE:  
HEIGHT OF DROP EDGE BEAM MAY  
VARY DUE TO SITE CONDITIONS  
UPON COMPLETION OF SITE WORKS

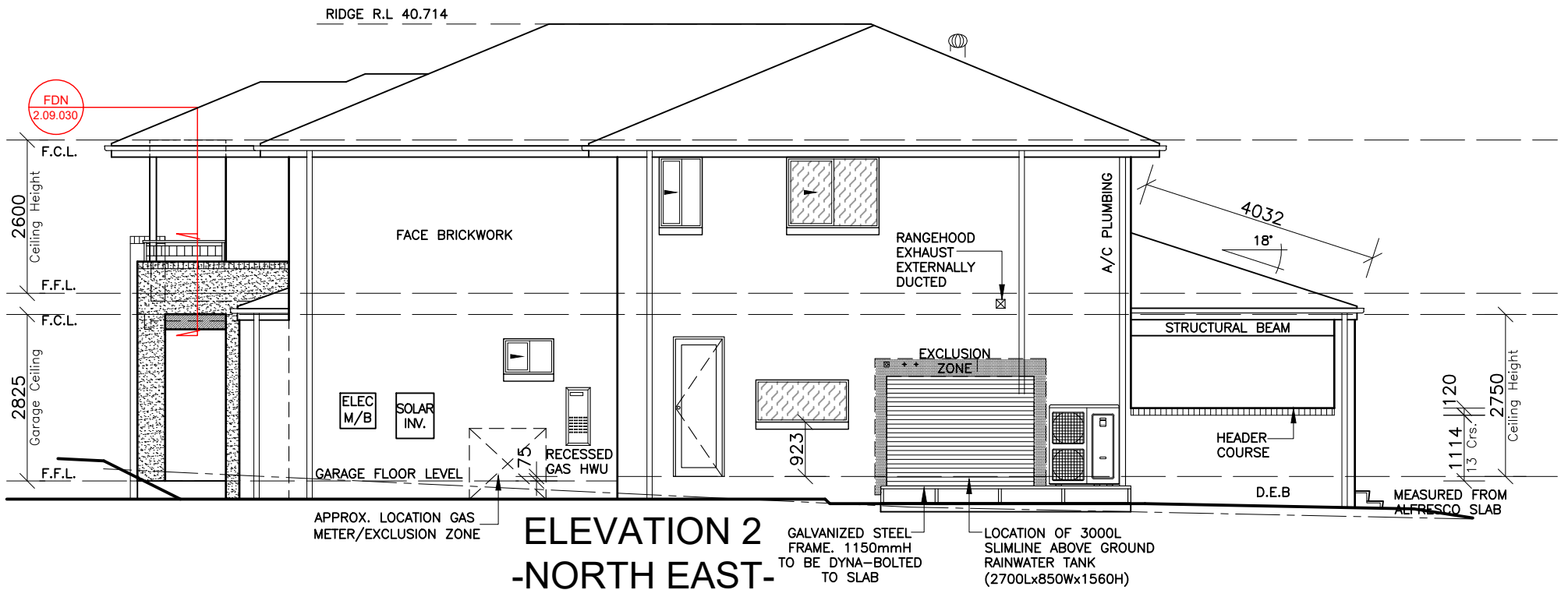
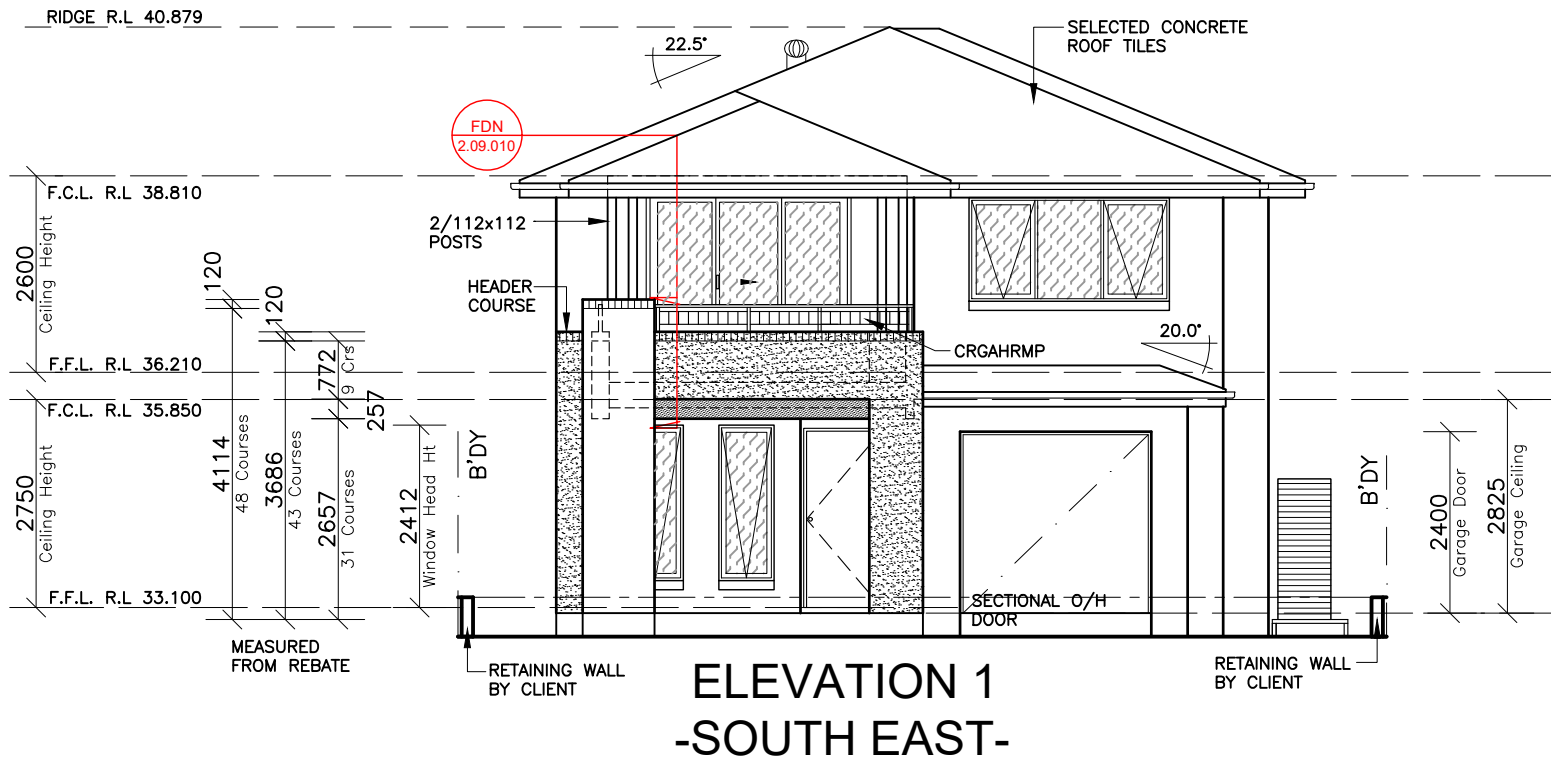
NOTE:  
NUMBER OF STEPS REQUIRED MAY  
VARY DEPENDING ON SITE  
CONDITIONS

DENOTES WINDOWS AND  
DOORS WITH DOUBLE  
GLAZED LOW 'E' GLAZING

SELECTED RENDER

SELECTED RENDER 2

NOTES:  
FOR DROP-OFF'S REFER  
TO FRAMING DETAILS  
CDN 21.010-21.080



CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

**ClarendonHomes**

BL No. 2298C  
ABN 18 003 892 706

Clarendon Homes (NSW) P/L  
21 Solent Circuit, Baulkham Hills NSW 2153  
T: (02) 8851 5300

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# ALL DIMENSIONS TO STRUCTURAL  
ELEMENTS. DIMENSIONS TO BE READ IN  
PREFERENCE TO SCALING.

PRODUCT:  
**Stamford 34**  
Gallery  
R/H Garage  
  
**LUXE**

CLIENT:  
**Mr. NGUYEN**  
**Mrs. TRUONG**  
SITE ADDRESS:  
**Lot 337 No 16**  
**Wenke Crescent**  
**YAGOONA, 2199**

DA DRAWINGS

|                      |                            |                  |
|----------------------|----------------------------|------------------|
| DRAWN:<br>MTK        | DATE:<br>04.06.25          | Rev:<br><b>N</b> |
| RATIO @ A3:<br>1:100 | CHECKED:<br>AL             |                  |
| SHEET:<br><b>5</b>   | JOB No:<br><b>29917560</b> | <b>NSW</b>       |

SOLAR INCLUSION  
\* 3.3 KW SMART SOLAR SYSTEM  
\* INVERTER

NOTE:  
FOR ROOF PITCHES 20° OR LOWER -  
ROOF TILE SELECTION WILL BE  
IMPACTED.

NOTE:  
HEIGHT OF DROP EDGE BEAM MAY  
VARY DUE TO SITE CONDITIONS  
UPON COMPLETION OF SITE WORKS

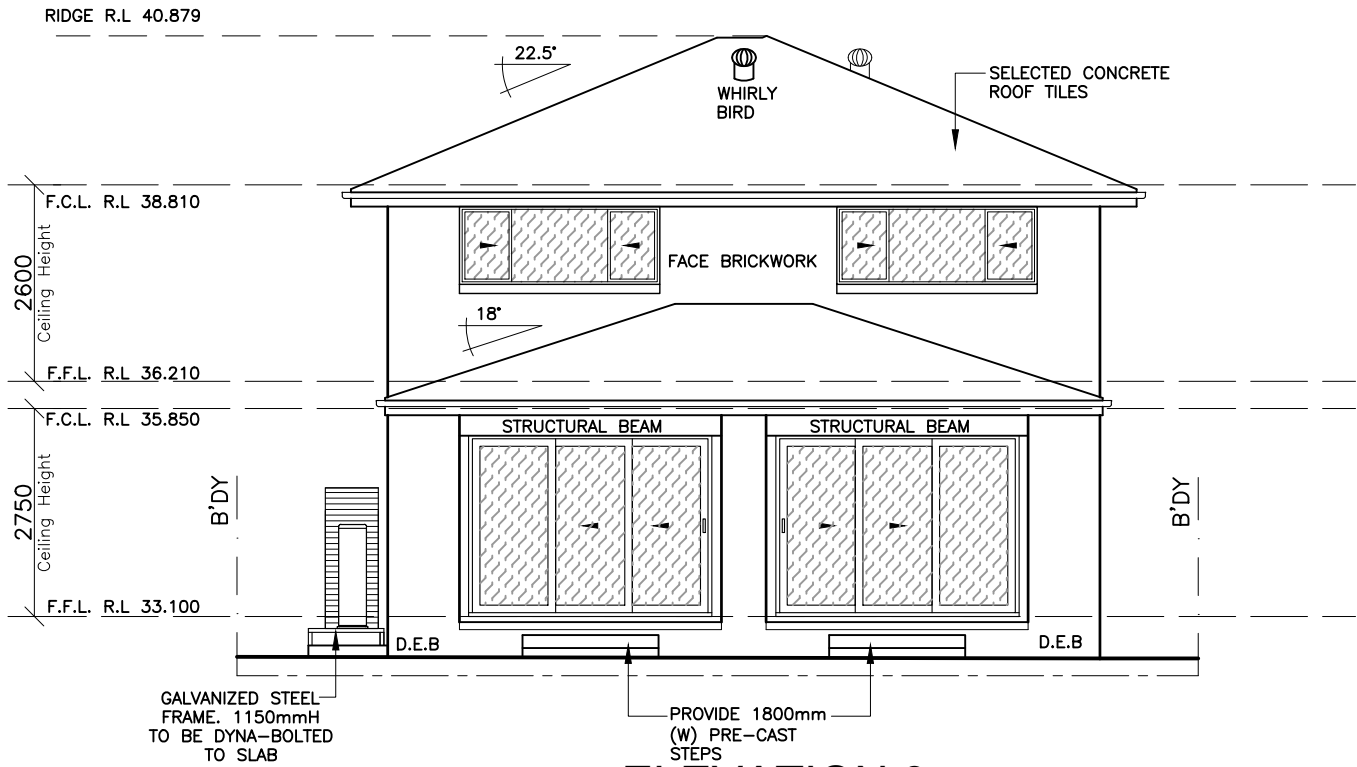
NOTE:  
NUMBER OF STEPS REQUIRED MAY  
VARY DEPENDING ON SITE  
CONDITIONS

DENOTES WINDOWS AND  
DOORS WITH DOUBLE  
GLAZED LOW 'E' GLAZING

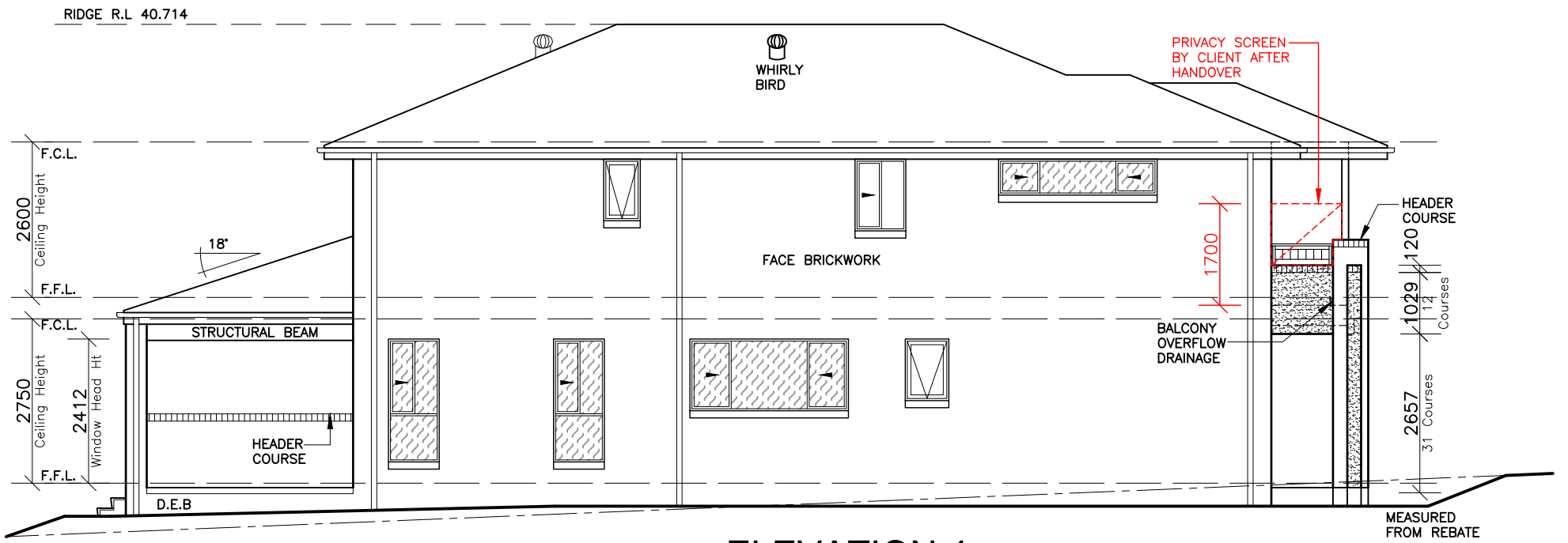
SELECTED RENDER

SELECTED RENDER 2

NOTES:  
FOR DROP-OFF's REFER  
TO FRAMING DETAILS  
CDN 21.010-21.080



ELEVATION 3  
-NORTH WEST-



ELEVATION 4  
-SOUTH WEST-



CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

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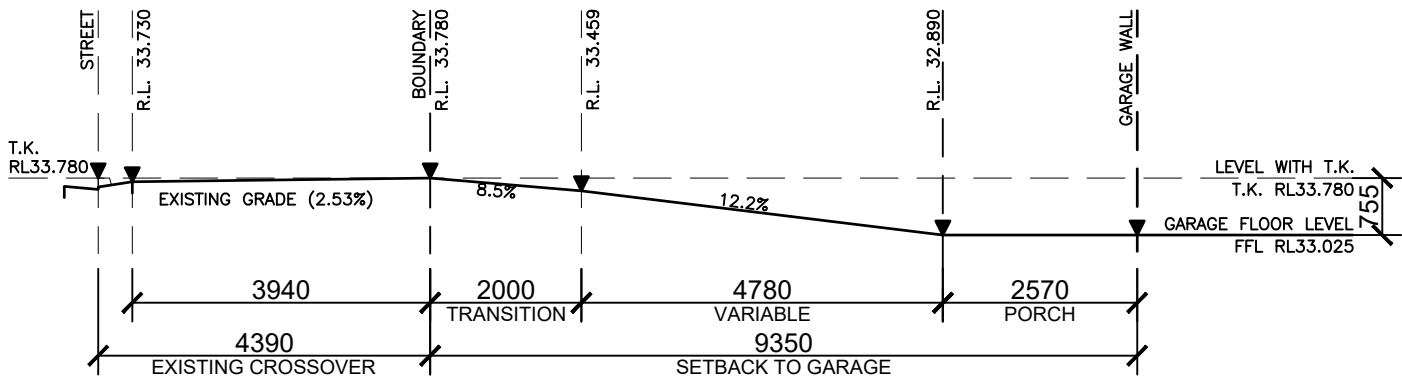
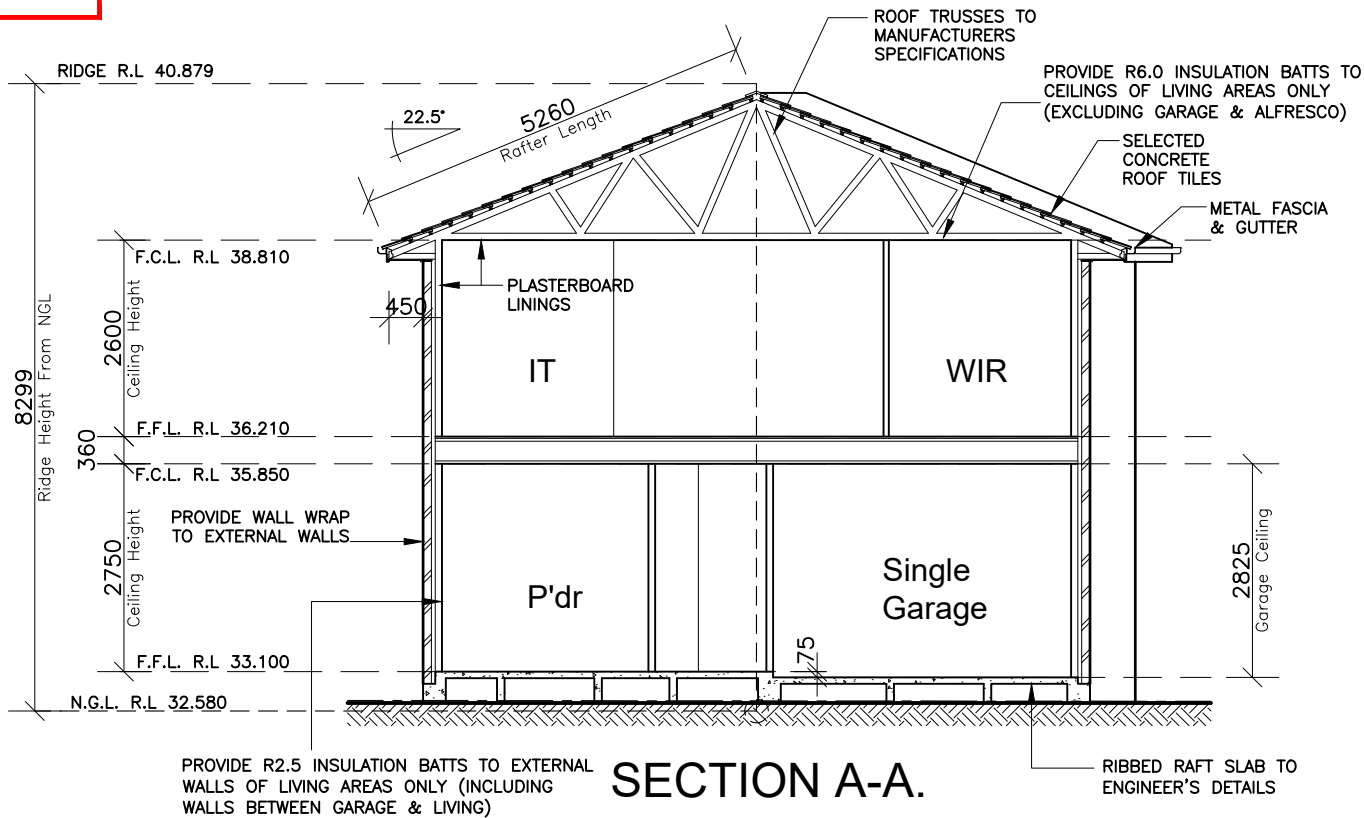
DA DRAWINGS

|                      |                     |           |
|----------------------|---------------------|-----------|
| DRAWN:<br>MTK        | DATE:<br>04.06.25   | Rev:<br>N |
| RATIO @ A3:<br>1:100 | CHECKED:<br>AL      |           |
| SHEET:<br>6          | JOB No:<br>29917560 | NSW       |

**NOTE:**  
INTERNAL DOOR LEAF HEIGHTS TO  
GROUND & FIRST FLOOR TO BE  
2340mm(H)

PROVIDE R5.0 INSULATION BATTS TO CEILING  
JOISTS BETWEEN GROUND FLOOR & FIRST FLOOR

PROVIDE R5.0 INSULATION BATTS TO CEILING  
JOISTS BETWEEN PORCH & FIRST FLOOR  
(R3.5 INSULATION INSTALLED AS PART OF  
CONSTRUCTION METHOD)



AS 2890.1

SCALE-1:100



CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

**ClarendonHomes**

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ABN 18 003 892 706

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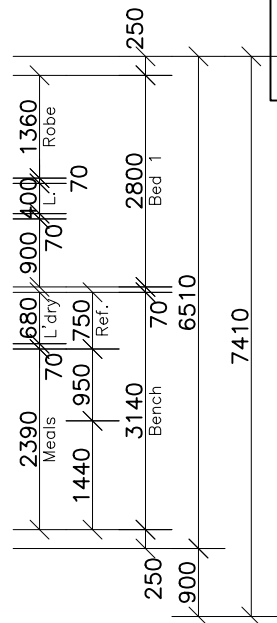
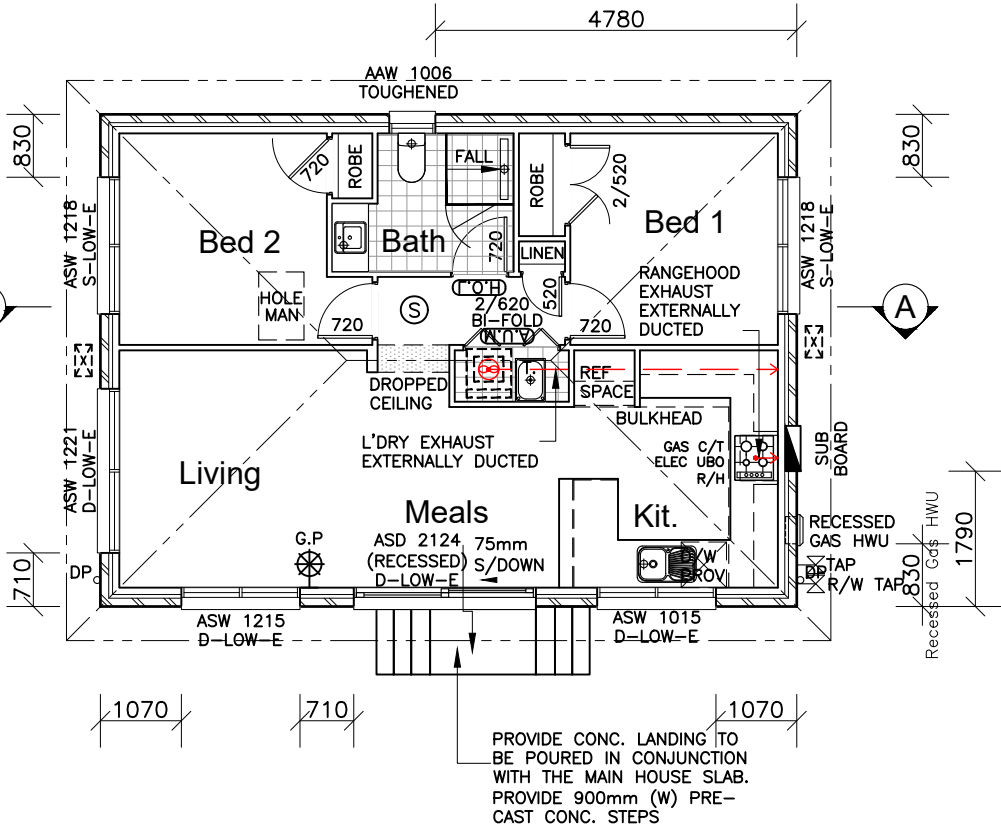
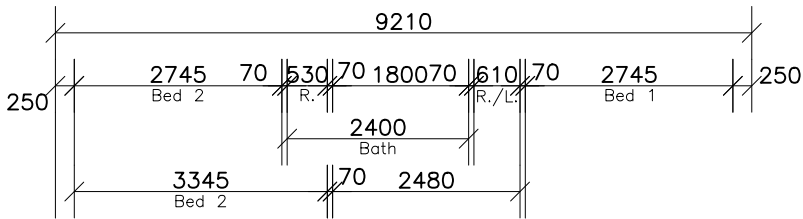
PRODUCT:  
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Gallery  
R/H Garage  
  
**LUXE**

CLIENT:  
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**Mrs. TRUONG**  
  
SITE ADDRESS:  
**Lot 337 No 16**  
**Wenke Crescent**  
**YAGOONA, 2199**

DA DRAWINGS

|                      |                            |                  |
|----------------------|----------------------------|------------------|
| DRAWN:<br>MTK        | DATE:<br>04.06.25          | Rev:<br><b>N</b> |
| RATIO @ A3:<br>1:100 | CHECKED:<br>AL             |                  |
| SHEET:<br><b>7</b>   | JOB No:<br><b>29917560</b> | <b>NSW</b>       |

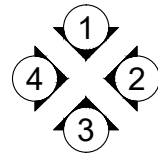
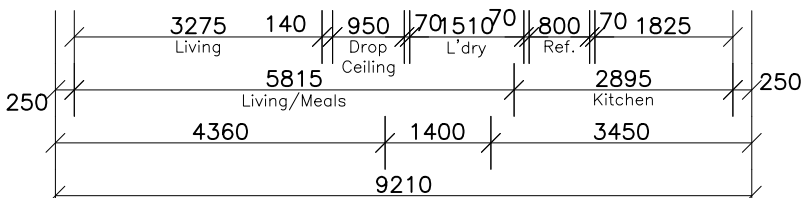
|           |                                                   |
|-----------|---------------------------------------------------|
| ---       | STRUCTURAL BEAM                                   |
| SP        | STEEL POST                                        |
| TSP       | TELESCOPIC STEEL POST                             |
| (S)       | SMOKE ALARM                                       |
| (E)       | EXHAUST FAN                                       |
| DP        | DOWN PIPE                                         |
| TAP       | GARDEN TAP                                        |
| (L.O.B)   | LIFT OFF HINGES                                   |
| (M.U.A)   | MAKE-UP AIR VENT                                  |
| (E.V)     | EAVE VENTS                                        |
| (C.E.J)   | CEILING EXPANSION JOINT                           |
| (E.F.W.T) | EXHAUST FAN WITH RUN-ON TIMER                     |
| (F.W.G)   | BATH FLOOR WASTE GULLY (MAX 1.2m FROM BATH WASTE) |
| (L.F.W)   | LINEAR FLOOR WASTE                                |



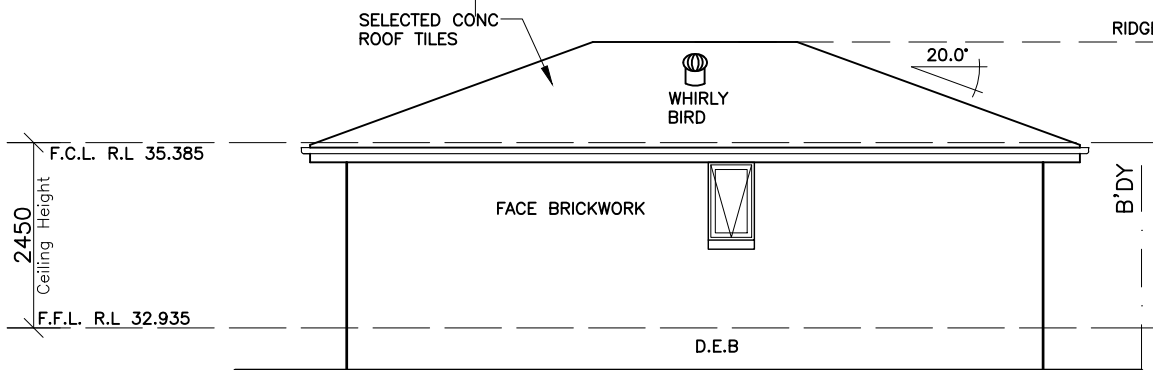
| NOTES                                                                                                                                                |
|------------------------------------------------------------------------------------------------------------------------------------------------------|
| • SHOWERS – ALL GROUND FLOOR SHOWERS TO HAVE RECESSED SLAB                                                                                           |
| • WATERPROOFING – MATERIALS AND THE INSTALLATION OF WET AREA COMPONENTS TO MEET CLAUSES 10.2.1 TO 10.2.32 OF THE ABCB HOUSING PROVISIONS. (NCC 2022) |
| • EXHAUST FAN DUCTED EXTERNALLY WITH TIMER AND RETURN AIR (WHERE REQUIRED) TO COMPLY WITH HP 10.8.2. (NCC 2022)                                      |
| • PROVIDE CLASS 4 WALL WRAP TO LIGHTWEIGHT CLADDING (IF APPLICABLE) TO COMPLY WITH PART 10.8.1 OF THE NCC                                            |
| • 300 DEEP BULKHEADS & SQ. SETS. 150 DROPPED CEILINGS (UNLESS NOTED OTHERWISE)                                                                       |

## FLOOR PLAN

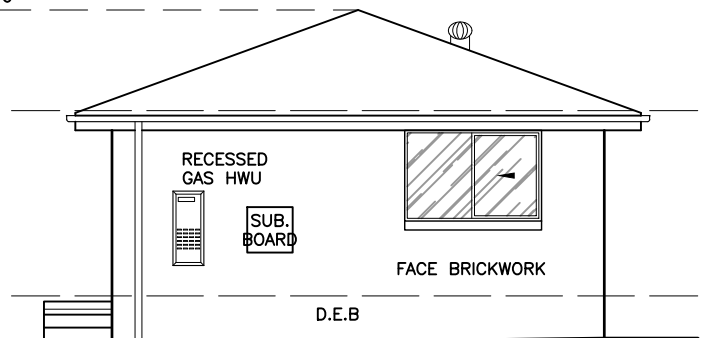
**NOTE:**  
FOR ROOF PITCHES 20° OR LOWER - ROOF TILE SELECTION WILL BE IMPACTED.



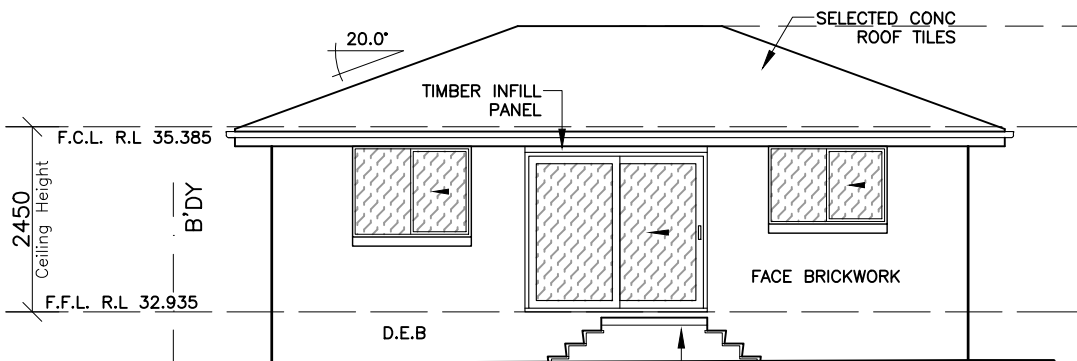
|                                                                                                        |
|--------------------------------------------------------------------------------------------------------|
| <b>NOTE:</b><br>HEIGHT OF DROP EDGE BEAM MAY VARY DUE TO SITE CONDITIONS UPON COMPLETION OF SITE WORKS |
| <b>NOTE:</b><br>NUMBER OF STEPS REQUIRED MAY VARY DEPENDING ON SITE CONDITIONS                         |



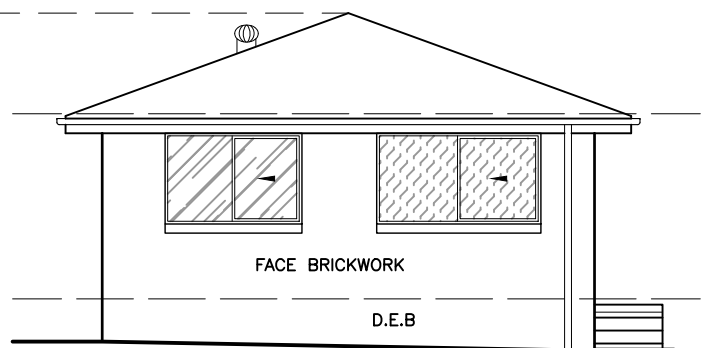
ELEVATION 1  
-NORTH WEST-



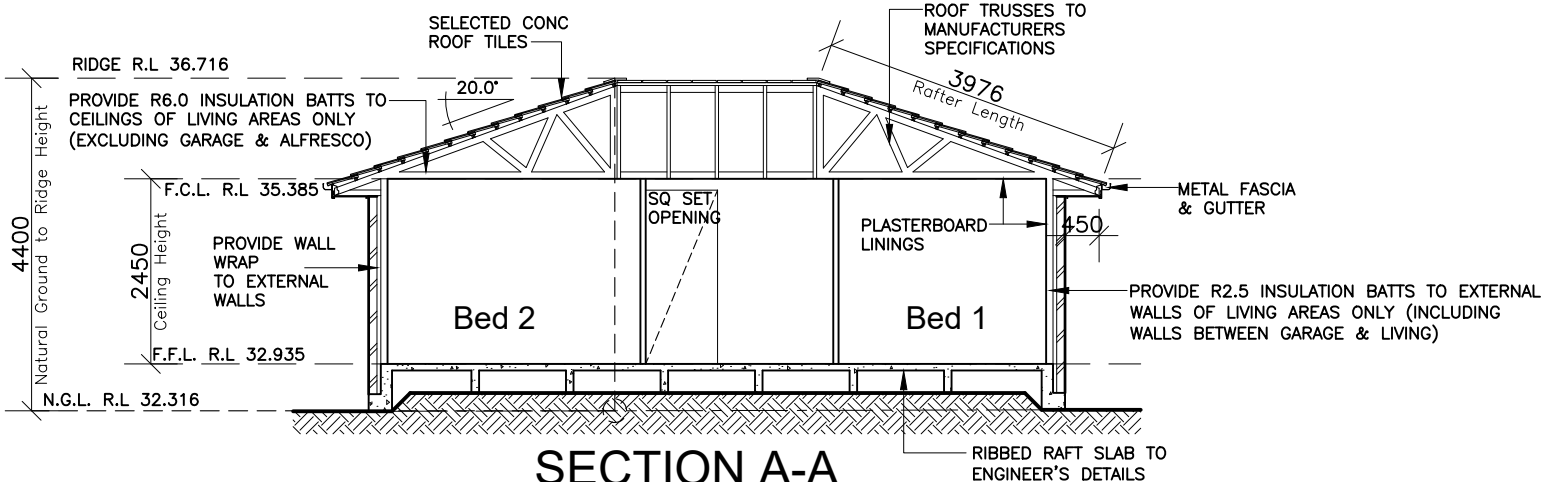
ELEVATION 2  
-NORTH EAST-



ELEVATION 3  
-SOUTH EAST-



ELEVATION 4  
-SOUTH WEST-



SECTION A-A

|  |                                                              |
|--|--------------------------------------------------------------|
|  | DENOTES WINDOWS AND DOORS WITH DOUBLE GLAZED LOW 'E' GLAZING |
|  | DENOTES WINDOWS WITH SINGLE GLAZED LOW 'E' GLAZING           |



CLIENT'S SIGNATURE:

DATE:

**ClarendonHomes**

BL No. 2298C  
ABN 18 003 892 706  
Clarendon Homes (NSW) P/L  
21 Solent Circuit, Baulkham Hills NSW 2153  
T: (02) 8851 5300

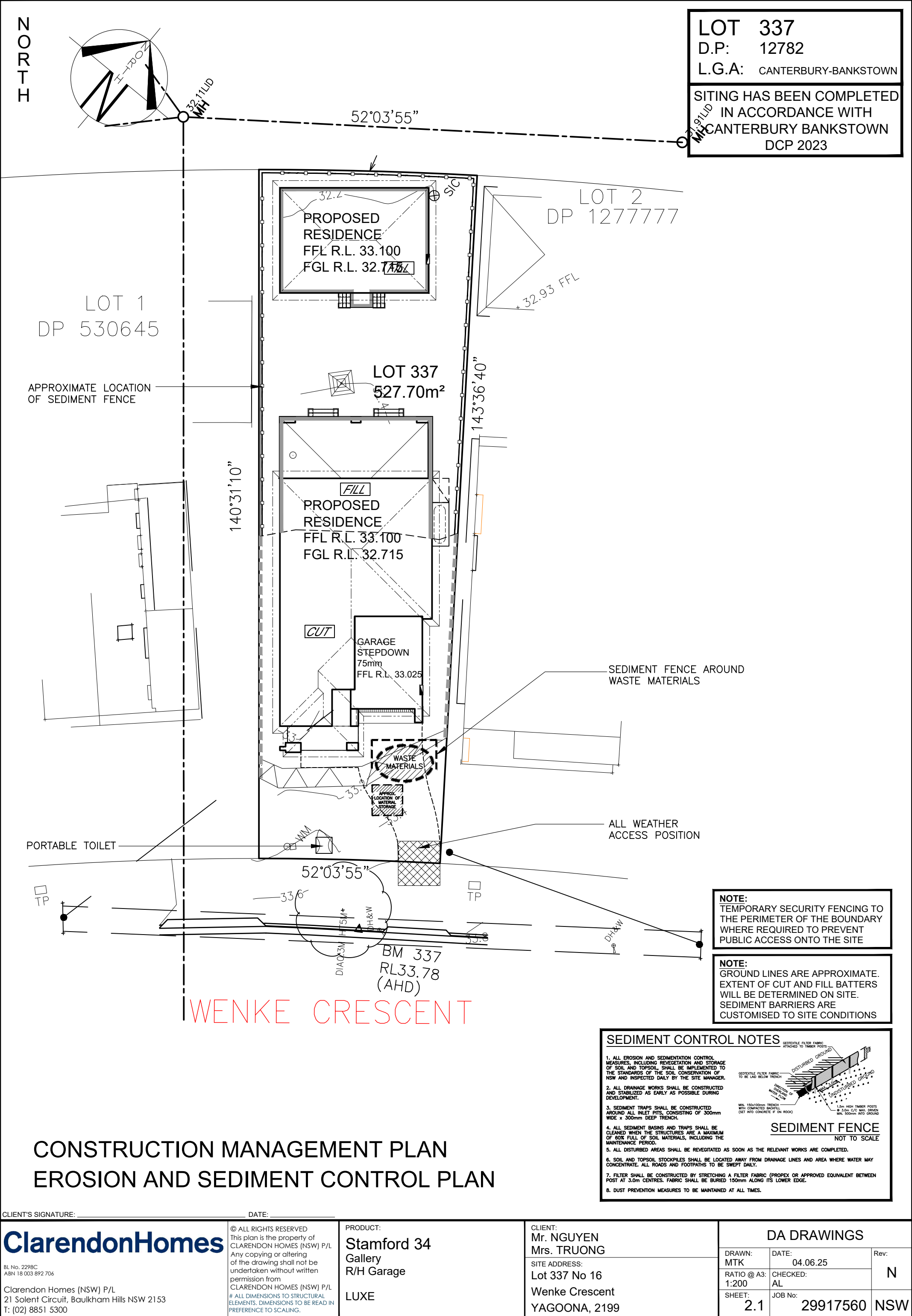
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# ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.

PRODUCT:  
**Stamford 34**  
Gallery  
R/H Garage  
  
**LUXE**

CLIENT:  
**Mr. NGUYEN**  
**Mrs. TRUONG**  
SITE ADDRESS:  
**Lot 337 No 16**  
**Wenke Crescent**  
**YAGOONA, 2199**

DA DRAWINGS

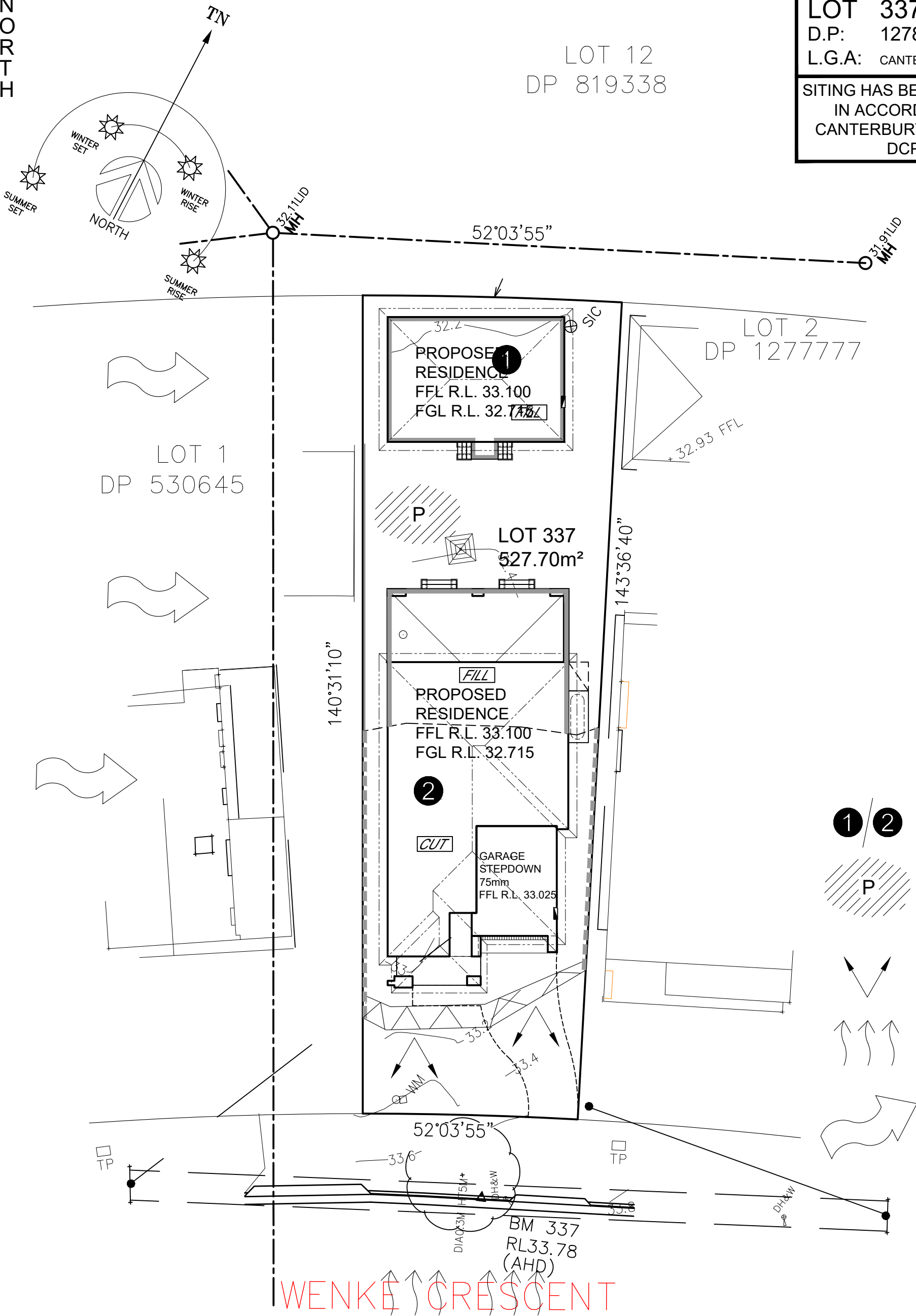
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| DRAWN:<br>MTK        | DATE:<br>04.06.25          | Rev:<br><b>N</b> |
| RATIO @ A3:<br>1:100 | CHECKED:<br>AL             |                  |
| SHEET:<br><b>8</b>   | JOB No:<br><b>29917560</b> | <b>NSW</b>       |



NORTH

LOT 12  
DP 819338

LOT 337  
D.P: 12782  
L.G.A: CANTERBURY-BANKSTOWN  
SITING HAS BEEN COMPLETED  
IN ACCORDANCE WITH  
CANTERBURY BANKSTOWN  
DCP 2023



SITE ANALYSIS PLAN

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

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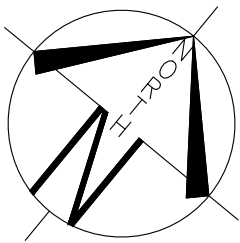
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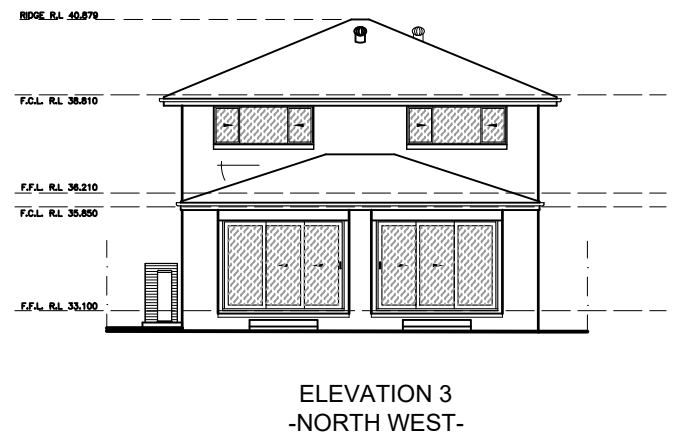
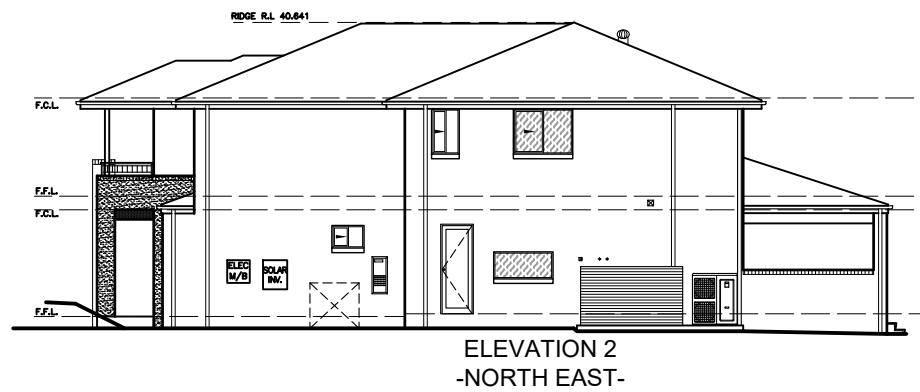
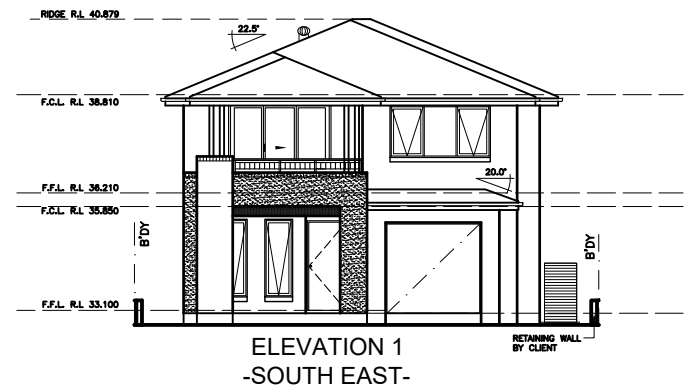
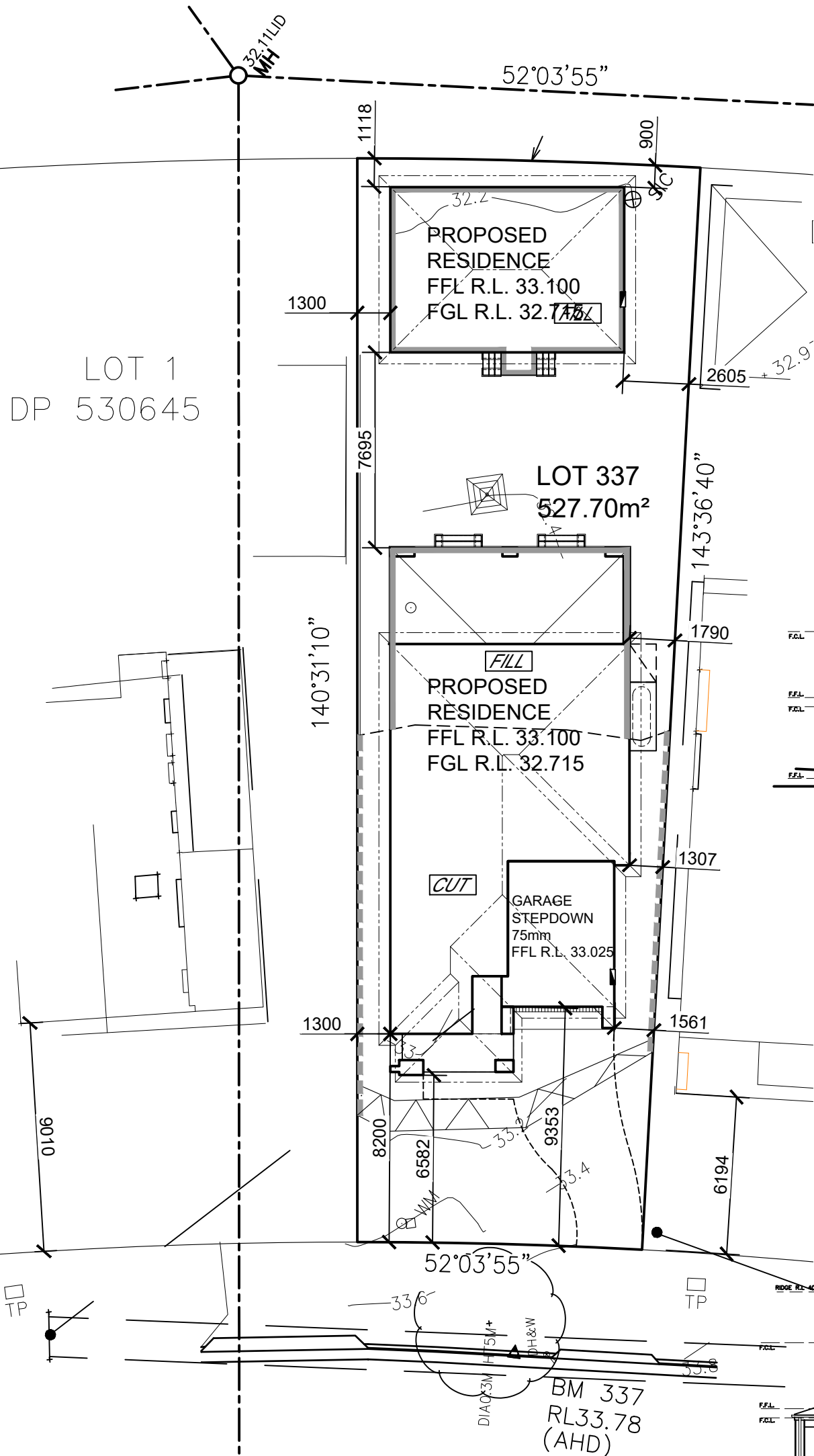
DA DRAWINGS

|                      |                     |           |
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| RATIO @ A3:<br>1:200 | CHECKED:<br>AL      |           |
| SHEET:<br>2.2        | JOB No:<br>29917560 | NSW       |

NORTH



LOT 337  
D.P: 12782  
L.G.A: CANTERBURY-BANKSTOWN  
SITING HAS BEEN COMPLETED  
IN ACCORDANCE WITH  
CANTERBURY BANKSTOWN  
DCP 2023



WENKE CRESCENT  
NEIGHBOUR NOTIFICATION PLAN

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

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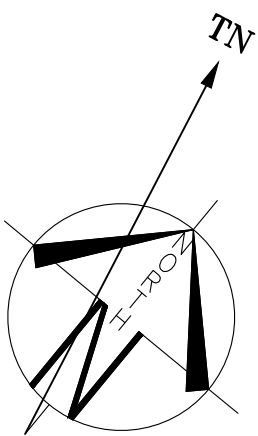
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LUXE

CLIENT:  
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Mrs. TRUONG  
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YAGOONA, 2199

DA DRAWINGS

|                      |                     |           |
|----------------------|---------------------|-----------|
| DRAWN:<br>MTK        | DATE:<br>04.06.25   | Rev:<br>N |
| RATIO @ A3:<br>1:200 | CHECKED:<br>AL      |           |
| SHEET:<br>2.3        | JOB No:<br>29917560 | NSW       |

NORTH



LOT 12  
DP 819338

LOT 337  
D.P: 12782  
L.G.A: CANTERBURY-BANKSTOWN

SITING HAS BEEN COMPLETED  
IN ACCORDANCE WITH  
CANTERBURY BANKSTOWN  
DCP 2023

LOT 1  
DP 530645

LOT 2  
DP 1277777

LOT 337  
527.70m<sup>2</sup>

Shadow outline for JUN21-9.00am

Shadow outline for JUN21-12.00pm

Shadow outline for JUN21-3.00pm

WENKE CRESCENT

SHADOW DIAGRAM @ 21st JUNE

CLIENT'S SIGNATURE: DATE:

ClarendonHomes

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21 Solent Circuit, Baulkham Hills NSW 2153  
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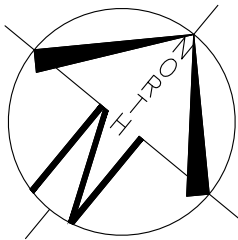
PRODUCT:  
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DA DRAWINGS

|                      |                     |           |
|----------------------|---------------------|-----------|
| DRAWN:<br>MTK        | DATE:<br>04.06.25   | Rev:<br>N |
| RATIO @ A3:<br>1:200 | CHECKED:<br>AL      |           |
| SHEET:<br>2.4        | JOB No:<br>29917560 | NSW       |

NORTH



LOT 337

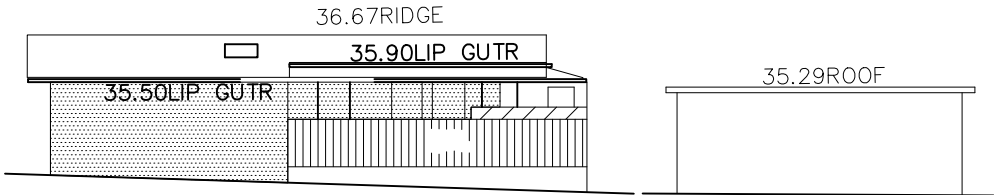
D.P: 12782

L.G.A: CANTERBURY-BANKSTOWN

SITING HAS BEEN COMPLETED  
IN ACCORDANCE WITH  
CANTERBURY BANKSTOWN  
DCP 2023

PROPOSED

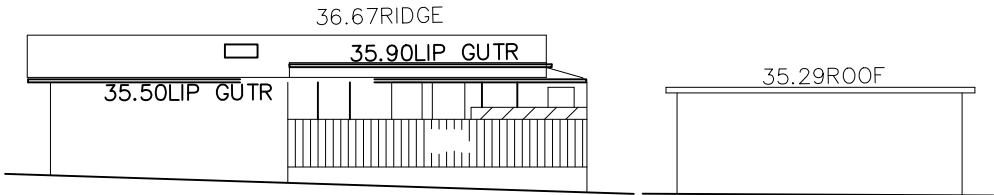
RIDGE R.L 40.714



Shadow outline for JUN21-9.00am

PROPOSED

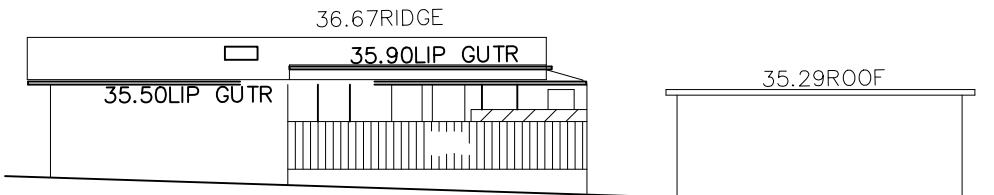
RIDGE R.L 40.714



Shadow outline for JUN21-12.00pm

PROPOSED

RIDGE R.L 40.714



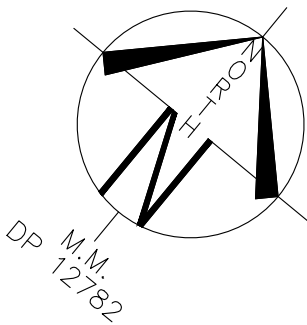
Shadow outline for JUN21-3.00pm

ELEVATIONAL SHADOWS @ 21st JUNE

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

|                                                                                                                                                                                    |                                                                                                                                                                                                                                                                                                                                                   |                                                                                       |                                                                                                                                                 |             |          |      |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------|-------------|----------|------|
| <div>ClarendonHomes</div> <div>BL No. 2298C<br/>ABN 18 003 892 706</div> <div>Clarendon Homes (NSW) P/L<br/>21 Solent Circuit, Baulkham Hills NSW 2153<br/>T: (02) 8851 5300</div> | <div>© ALL RIGHTS RESERVED<br/>This plan is the property of<br/>CLARENDON HOMES (NSW) P/L<br/>Any copying or altering<br/>of the drawing shall not be<br/>undertaken without written<br/>permission from<br/>CLARENDON HOMES (NSW) P/L<br/># ALL DIMENSIONS TO STRUCTURAL<br/>ELEMENTS. DIMENSIONS TO BE READ IN<br/>PREFERENCE TO SCALING.</div> | <div>PRODUCT:</div> <div>Stamford 34<br/>Gallery<br/>R/H Garage</div> <div>LUXE</div> | <div>CLIENT:</div> <div>Mr. NGUYEN<br/>Mrs. TRUONG</div> <div>SITE ADDRESS:</div> <div>Lot 337 No 16<br/>Wenke Crescent<br/>YAGOONA, 2199</div> | DA DRAWINGS |          |      |
|                                                                                                                                                                                    |                                                                                                                                                                                                                                                                                                                                                   |                                                                                       |                                                                                                                                                 | DRAWN:      | DATE:    | Rev: |
|                                                                                                                                                                                    |                                                                                                                                                                                                                                                                                                                                                   |                                                                                       |                                                                                                                                                 | MTK         | 04.06.25 |      |
|                                                                                                                                                                                    |                                                                                                                                                                                                                                                                                                                                                   |                                                                                       |                                                                                                                                                 | RATIO @ A3: | CHECKED: | N    |
|                                                                                                                                                                                    |                                                                                                                                                                                                                                                                                                                                                   |                                                                                       |                                                                                                                                                 | 1:200       | AL       |      |
|                                                                                                                                                                                    |                                                                                                                                                                                                                                                                                                                                                   |                                                                                       |                                                                                                                                                 | SHEET:      | JOB No:  | NSW  |
|                                                                                                                                                                                    |                                                                                                                                                                                                                                                                                                                                                   |                                                                                       |                                                                                                                                                 | 2.5         | 29917560 |      |

NORTH

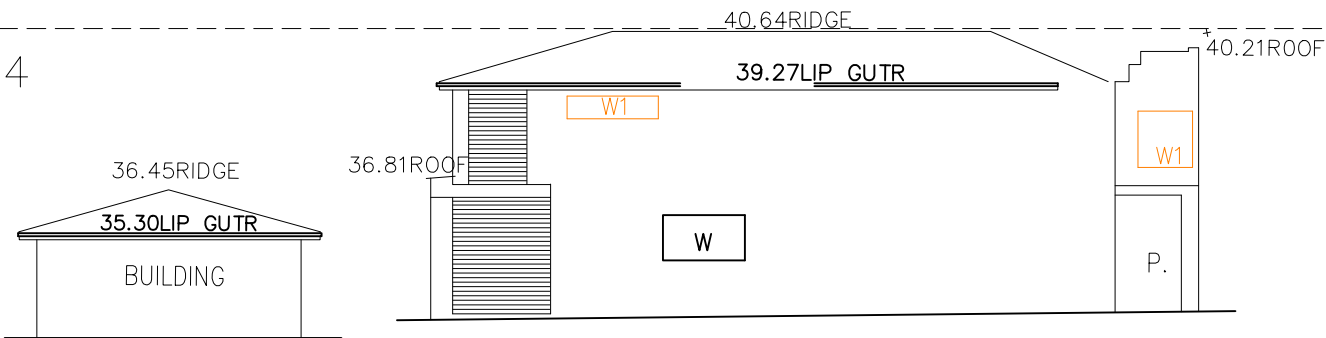


LOT 337  
D.P: 12782  
L.G.A: CANTERBURY-BANKSTOWN

SITING HAS BEEN COMPLETED  
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CANTERBURY BANKSTOWN  
DCP 2023

PROPOSED

RIDGE R.L 40.714

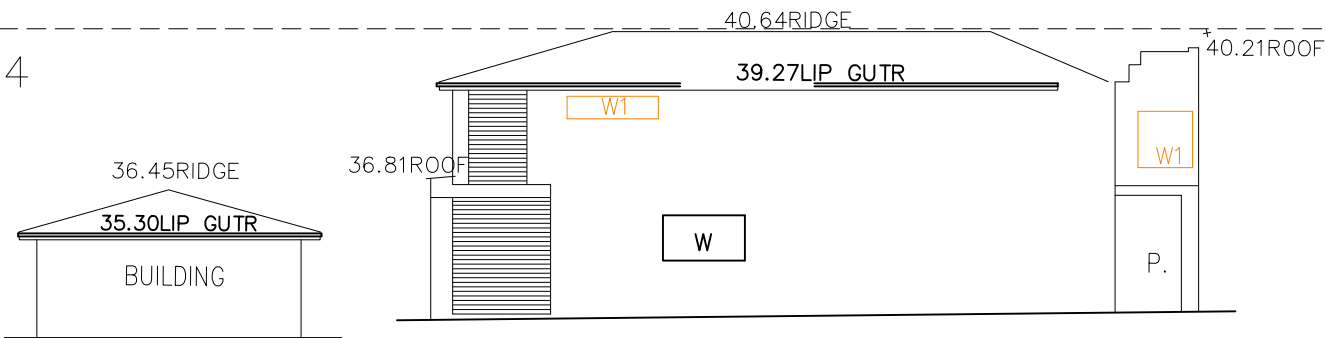


LOT 2 DP 1277777 ELEVATION

# Shadow outline for JUN21-9.00am

PROPOSED

RIDGE R.L 40.714

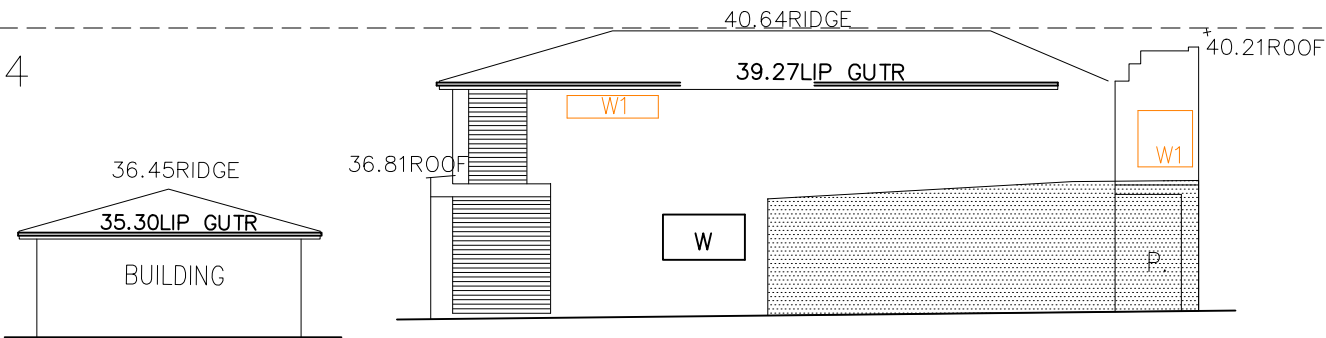


LOT 2 DP 1277777 ELEVATION

# Shadow outline for JUN21-12.00pm

PROPOSED

RIDGE R.L 40.714



LOT 2 DP 1277777 ELEVATION

# Shadow outline for JUN21-3.00pm

## ELEVATIONAL SHADOWS @ 21st JUNE

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

**ClarendonHomes**

BL No. 2298C  
ABN 18 003 892 706

Clarendon Homes (NSW) P/L  
21 Solent Circuit, Baulkham Hills NSW 2153  
T: (02) 8851 5300

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# ALL DIMENSIONS TO STRUCTURAL  
ELEMENTS. DIMENSIONS TO BE READ IN  
PREFERENCE TO SCALING.

PRODUCT:  
**Stamford 34**  
Gallery  
R/H Garage  
  
LUXE

CLIENT:  
**Mr. NGUYEN**  
**Mrs. TRUONG**  
  
SITE ADDRESS:  
**Lot 337 No 16**  
**Wenke Crescent**  
**YAGOONA, 2199**

DA DRAWINGS

|                      |                            |                  |
|----------------------|----------------------------|------------------|
| DRAWN:<br>MTK        | DATE:<br>04.06.25          | Rev:<br><b>N</b> |
| RATIO @ A3:<br>1:200 | CHECKED:<br>AL             |                  |
| SHEET:<br><b>2.6</b> | JOB No:<br><b>29917560</b> | NSW              |

LOT 337  
D.P: 12782  
L.G.A: CANTERBURY-BANKSTOWN

SITING HAS BEEN COMPLETED  
IN ACCORDANCE WITH  
CANTERBURY BANKSTOWN  
DCP 2023

VIEW FROM

WENKE CRESCENT



No. 18



No. 16



No. 14

STREETSCAPE ELEVATION

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

|                                                                                                                                                                                              |                                                                                                                                                                                                                                                                                                                                                   |                                                                                       |                                                                                        |                                         |                                      |                              |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------|-----------------------------------------|--------------------------------------|------------------------------|
| <div>ClarendonHomes</div> <div><div>BL No. 2298C<br/>ABN 18 003 892 706</div><div>Clarendon Homes (NSW) P/L<br/>21 Solent Circuit, Baulkham Hills NSW 2153<br/>T: (02) 8851 5300</div></div> | <div>© ALL RIGHTS RESERVED<br/>This plan is the property of<br/>CLARENDON HOMES (NSW) P/L<br/>Any copying or altering<br/>of the drawing shall not be<br/>undertaken without written<br/>permission from<br/>CLARENDON HOMES (NSW) P/L<br/># ALL DIMENSIONS TO STRUCTURAL<br/>ELEMENTS. DIMENSIONS TO BE READ IN<br/>PREFERENCE TO SCALING.</div> | <div>PRODUCT:</div> <div>Stamford 34<br/>Gallery<br/>R/H Garage</div> <div>LUXE</div> | <div>CLIENT:</div> <div>Mr. NGUYEN<br/>Mrs. TRUONG</div>                               | DA DRAWINGS                             |                                      |                              |
|                                                                                                                                                                                              |                                                                                                                                                                                                                                                                                                                                                   |                                                                                       | <div>SITE ADDRESS:</div> <div>Lot 337 No 16<br/>Wenke Crescent<br/>YAGOONA, 2199</div> | <div>DRAWN:</div> <div>MTK</div>        | <div>DATE:</div> <div>04.06.25</div> | <div>Rev:</div> <div>N</div> |
|                                                                                                                                                                                              |                                                                                                                                                                                                                                                                                                                                                   |                                                                                       |                                                                                        | <div>RATIO @ A3:</div> <div>1:200</div> | <div>CHECKED:</div> <div>AL</div>    |                              |
|                                                                                                                                                                                              |                                                                                                                                                                                                                                                                                                                                                   |                                                                                       | <div>SHEET:</div> <div>2.7</div>                                                       | <div>JOB No:</div> <div>29917560</div>  | <div>NSW</div>                       |                              |